



HISTORIC BEGINNINGS • 1847

**Farmington City Planning Commission**

**March 5, 2020**



# FARMINGTON CITY

H. JAMES TALBOT  
MAYOR

BRETT ANDERSON  
SHAWN BEUS  
SCOTT ISAACSON  
AMY SHUMWAY  
REBECCA WAYMENT  
CITY COUNCIL

SHANE PACE  
CITY MANAGER

## AGENDA PLANNING COMMISSION MEETING

March 5, 2020

Public Meeting at the Farmington City Hall, 160 S. Main Street, Farmington, Utah  
Study Session: 6:00 p.m. – Conference Room 3 (2nd Floor)  
North Farmington Station Presentation

**Regular Session: 7:00 p.m. – City Council Chambers (2nd Floor)**

*(Please note: In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 3 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments, which cannot be made within these limits, should be submitted in writing to the Planning Department prior to noon the day before the meeting.)*

- 7:00 1. Minutes  
2. City Council Report

### SUBDIVISIONS

- 7:05 3. Guy Haskell (Public Hearing) – Applicant is requesting a recommendation for schematic plan approval of the proposed Sydney's Corner Subdivision Phase 2 consisting of 4 lots on .94 acres of property located on the southwest corner of 650 West and Glover Lane in an AE (Agriculture Estates) zone. (S-1-20)
- 7:20 4. Andrew Hiller–Applicant is requesting final plat approval for The Preserve at Farmington Creek subdivision consisting of 11 lots on 5.18 acres of property at approximately 90 West 675 North in the LR (Large Residential) PUD zone. (S-6-19)
- 7:30 5. Taylor Spendlove/Brighton Homes - Applicant is requesting Schematic (Concept) Design plan approval for the townhome portion of the Farmington Station Parkway mixed-use development located at approximately 525 North Station Parkway. (SP-1-20)

### OTHER BUSINESS

- 7:45 6. Miscellaneous, correspondence, etc.  
a. March 17<sup>th</sup> Field Trip Details

*Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to take action on the item; OR 2. If the Planning Commission feels, there are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.*

Posted March 3, 2020

Meagan Booth  
City Planner

**FARMINGTON CITY  
PLANNING COMMISSION**

February 20, 2020

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**STUDY SESSION**

**Present:** Chairman Roger Child, Vice Chairman Alex Leeman, Rulon Homer, Mike Plaizier, Larry Steinhorst and Alternate Commissioner Inger Erickson. **Staff:** Community Development Director David Petersen, City Planner Meagan Booth, Recording Secretary Carly Rowe and Planning/GIS Specialist Shannon Hansell. Greg Wall and Russ Workman were excused.

Chad Boshell, City Engineer showed a map of the status of the West Davis Corridor and answered any questions that the Commissioners had regarding access points. Dave Petersen also informed the Commissioners that on March 17, 2020 the City Council, staff and those Commissioners who can attend will be going to Thanksgiving Point on a field trip.

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**REGULAR SESSION**

**Present:** Chairman Roger Child, Vice Chairman Alex Leeman, Rulon Homer, Mike Plaizier, Larry Steinhorst and Alternate Commissioner Inger Erickson. **Staff:** Community Development Director David Petersen, City Planner Meagan Booth, Recording Secretary Carly Rowe and Planning/GIS Specialist Shannon Hansell. Greg Wall and Russ Workman were excused.

**Roger Child** opened the meeting at 7:08 PM

**Item #1 Minutes**

**Rulon Homer** made a motion to approve the minutes from the February 6, 2020 Planning Commission meeting. **Mike Plaizier** seconded the motion, which was unanimously approved.

**Item #2 City Council Report**

Dave Petersen gave a report from City Council on February 18, 2020. Regarding spring cleanup, Robinson Waste will help with spring cleanup and provide dumpsters. The previous company is no longer in business. There will be an update regarding this in the Newsletter. Zone Text amendments for Site Plan deadline and Final PUD recommended by Planning Commission were approved. Finally, the cross-section for Flatrock Ranch subdivision is under consideration.

**SUBDIVISIONS**

**Item #3 Steed Metes and Bounds Subdivision (Public Hearing) – Applicant is requesting approval for a two-lot subdivision by metes and bounds located at 79 south 100 East in the in the OTR (Original Town site Residential) zone. (S-3-20)**

The applicant and owner of the property at 79 South 100 East wishes to divide their single parcel of land into two lots without requiring the recordation of a subdivision plat. The owner has thus applied for a metes and bounds subdivision.

**Roger Child** opened the Public Hearing at 7:15 PM.

**Russ Christensen**, the buyer, questioned why sidewalk would need to be installed, **Shannon Hansell** replied that sidewalk is an improvement requirement with subdivisions. **Dave Petersen** further explained the logic behind the improvements. He also said Mr. Christensen was welcome to ask that Public Works reconsider the installation of the sidewalk.

**Shauna Martin**, questioned whether the land would be used for residential or commercial, whereas Mr. Christensen replied that it would be for residential only.

**Roger Child** closed the Public Hearing at 7:21 PM.

## **MOTION**

**Alex Leeman** made a motion to move that the Planning Commission approve the proposed lot split by metes and bounds subject to all applicable Farmington City development standards and ordinances, and that the applicant shall immediately install sidewalk and ADA ramps at the southwest corner of 100 East and 100 South, unless reconsidered by Public Works.

**Rulon Homer** seconded the motion, which was unanimously approved.

### Findings for Approval:

1. The division does not involve the extension of streets and utilities.
2. The area is not traversed by proposed streets.
3. The lot split is in accordance with the Farmington City General Land Use Plan and Zoning Ordinances.
4. No undevelopable remnant parcels will be created in the lot split.

### **Item #4 Phil Holland\Wright Development Group – Applicant is requesting final plat approval for the East Park Lane Phase 2 Subdivision consisting of two commercial lots on approximately 4.25 acres of property located north of the north end of Lagoon Drive at approximately 850 North in the CMU (Commercial Mixed Use) zone. (S-26-18)**

On February 5, 2019, after receiving a recommendation from the Planning Commission, the City Council rezoned the subject property from LS (Large Suburban) and A (Agriculture) to CMU (Commercial Mixed Use) and approved a schematic plan showing, among other things, two commercial lots on the west side of the proposed northerly extension of Lagoon Drive.

Because there is no connection to Main Street as part of this phase, the Lagoon Drive extension constitutes a dead end street greater than 1,000 feet in length. This extension violates Section 12-7-040 D 3 of the Subdivision Ordinance. In response, the City received a letter from the agent detailing secondary access through AW Development LLC (Mercedes-Benz Dealership) drive aisle. This aisle connects Bourne Circle to the frontage road adjacent to HWY 89. If streets are dedicated and improved to Main Street as per the approved schematic plan, or Lagoon Drive is extended to US HWY 89, HNJ Investment Company LLC may release the easement.

There will be a detention basin owned by the developer, whereby the future use of the basin is intended for the possible future Phase III residential portion of the project east of Lagoon Drive. A deed restriction should be in place to ensure use of the basin by Phase III. Lots 201 and 202 will manage their entire water run-off on-site and not use the detention or the pipe leading to it from the future Phase III.

## **MOTION**

**Rulon Homer** made a motion to move that the Planning Commission approve the final plat for the East Park Lane Phase II Subdivision, subject to all applicable Farmington City ordinances and development standards, and the following conditions:

1. The Lagoon Drive extension must comply with the City's dead end street standards---the developer shall establish a second point of independent access acceptable to the City.
2. The developer/property owner shall maintain the detention basin, access, and pipes leading to it, until such a time Phase III is developed and an HOA is established to take over basin maintenance.
3. The developer shall provide a deed restriction acceptable to city to ensure the basin and pipes remain in place for the future Phase III.
4. The existing public utility easement (PUE), which traverses between Lots 201 and 202 to the detention basin must also be identified as a storm drain easement on the plat.
5. The developer must obtain a Storm Water Permit; Storm Water Bond Agreement; State Storm Water Pollution Prevention Plan; Farmington City Long-Term Storm Water Management Agreement, Farmington City Long-Term Storm Water Management Plan, etc.

6. The final plat shall meet all conditions of the approved schematic plan and preliminary plat.
7. The applicant shall address all other outstanding DRC comments including, but not limited to, sewer easements.

**Mike Plaizier** seconded the motion, which was unanimously approved.

Findings for Approval:

1. The proposed subdivision, along with the conditions set forth in the motion, conforms to all of the development standards as set forth in the Farmington City Subdivision and Zoning Ordinances.
2. The proposed plat continues a planned connection from Park Lane to points north, and conforms to the Master Transportation Plan and creates connectivity throughout the City.
3. The subdivision of this property will allow for future development, which fits the CMU zone and is consistent with the master plan for this area.
4. The application for final plat is consistent with the zone change and schematic plan recommended and approved by the Planning Commission and City Council, and the preliminary plat approved by the PC.
5. The deed will enable storm drain solutions in the future Phase III.

**ZONE TEXT AMENDMENTS**

**Item #5 Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend Chapter 18 of the Zoning Ordinance removing residential uses as allowed uses in the GMU zone (ZT-3-20).**

Standards for Zoning Ordinance and Map amendments are contained in Chapter 6 of the Zoning Ordinance. Specific Planning Commission review criteria are provided in Section 11-6-020 of this chapter as follows:

Planning Commission Review: All proposed amendments must be first submitted to the planning commission for review and recommendations. Notice and public hearing requirements shall be as provided in Utah Code Annotated sections 10-9a-205, 10-9a-502 and 10-9a-503. The planning commission shall study and examine each application and proposed amendment. The planning commission should consider the following issues when reviewing each proposed amendment: 1) is the proposed amendment reasonably necessary; 2) is the proposed amendment in the public interest; and 3) is the proposed amendment consistent with the city general plan and in harmony with the objectives and purpose of this title. After study and analysis, the planning commission shall prepare written recommendations regarding the application and proposed amendment and forward the same to the city council for its consideration.

**Roger Child** opened the Public Hearing at 7:38 PM.

**Zach Hartman**, a representative of a landowner with a GMU designation – The Evan’s Family – requested a hold on this agenda item. An application for a Project Master Plan (PMP) was turned in Thursday afternoon. He asked that this item be tabled until that application can be reviewed and considered. Dave Petersen told the commissioners that he was okay with the table to allow staff to review the PMP.

**Roger Child** closed the Public Hearing at 7:46 PM.

**MOTION**

**Alex Leeman** made a motion that the Planning Commission table this agenda item until the Project Master Plan application that was turned in on February 20, 2020 is reviewed.

**Larry Steinhorst** seconded the motion, which was unanimously approved.

**Item #6 Farmington City (Public Hearing) – Applicant is requesting a recommendation to consider amend the zoning ordinance requiring a Special Exception Application, verses a Conditional Use Application, for Accessory Building**

**Heights as set forth in Sections 11-10-050 B, 11-11-070 B.1., 11-12-090 E.2., 11-13-060 B.1., 11-14-060, 11-17-070 E.4. And 11-22-040 B.2. (ZT-4-20).**

The request is to amend the text of the zoning ordinance to require a Special Exception Application, versus a Conditional Use Application, in regards to Accessory Building Heights as set forth in Sections 11-10-050(B), 11-11-070 B.1., 11-12-090 E.2., 11-13-060 B.1., 11-14-060, 11-17-070 E.4. and 11-22-040 B.2.

Per **Utah State Code** 10-9a-507, “(2) (a) A **conditional use** SHALL be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed **use** in accordance with applicable standards.” Therefore as a Conditional Use, the height of an accessory building shall be approved if conditions are proposed to mitigate impacts. Regarding Special Exceptions, however, the Planning Commission has authority to approve or deny, through the approval standards, which gives more discretion to the city.

**Roger Child** opened and closed the Public Hearing at 7:58 PM. There were no members of the Public in attendance for this item and no comments were received.

**MOTION**

**Mike Plaizier** made a motion to move that the Planning Commission recommend approval of the proposed amendments to the following sections of the Zoning Ordinances subject to all applicable Farmington City ordinances as shown in Exhibit A (attached) and with the following findings:

**Rulon Homer** seconded a motion, which was unanimously approved.

Findings for Approval:

1. In most cases, the property owner is asking for an exception to the height requirement required by the zoning ordinance, because this is a fixed dimensional standard, the application type should be a special exception versus a conditional use.
2. The approval standards in 11-3-045 will be used to evaluate approval or denial of a special exception application.
3. Per **Utah State Code** 10-9a-507, “(2) (a) A **conditional use** SHALL be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed **use** in accordance with applicable standards.” Therefore as a Conditional Use, the height of an accessory building shall be approved if conditions are proposed to mitigate impacts. Regarding Special Exceptions, however, the Planning Commission has authority to approve or deny, through the approval standards, which gives more discretion to the city.

**Item #7 Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend 11-11-060 7.A regarding the location of Accessory Buildings and Structures. (ZT-5-20).**

**Roger Child** opened and closed the Public Hearing at 8:03 PM. There were no members of the Public in attendance for this item and no comments were received.

**MOTION**

**Larry Steinhorst** made a motion to move that the Planning Commission recommend the City Council approve the proposed amendment to 11-7-060 A.7 of the Zoning Ordinance as follows:

7. An accessory building may be located in a side corner yard or front yard of a lot; providing, that the building is an architectural and integral part of the main building and in no event shall the accessory building encroach into the required front yard or required side corner yard ~~beyond the nearest corner of the main building.~~

**Alex Leeman** seconded the motion, which was unanimously approved.

Findings for Approval:

1. The existing phrase, “beyond the nearest corner of the main building” can be redundant and not needed especially if such corner is placed right at the required setback line.
2. The following amendment removes the interpretation of the nearest corner of the building.
3. The text change better clarifies the primary intent of the existing language which is accessory buildings are not allowed in the “required” front and side corner yards

#### **OTHER BUSINESS**

##### **Item #8 Miscellaneous, correspondence, etc.**

- Other

#### **ADJOURNMENT**

**Inger Erickson** made a motion to adjourn at 8:05 PM. **Rulon Homer** seconded the motion, which was unanimously approved.

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**Roger Child, Planning Commission Chair**

**WORK SESSION:** A work session will be held at 6:00 p.m. in Conference Room #3, Second Floor, of the Farmington City Hall, 160 South Main Street. The public is welcome to attend. The agenda for the work session will be as follows:

1. Questions or concerns the City Council may have on agenda items.
2. Update from Parks and Recreation on 2019 Programs

## **FARMINGTON CITY COUNCIL MEETING NOTICE AND AGENDA**

Notice is hereby given that the City Council of **Farmington City** will hold a regular City Council meeting on **Tuesday, March 3, 2020, at 7:00 p.m.** The meeting will be held at the Farmington City Hall, 160 South Main Street, Farmington, Utah.

*Meetings of the City Council of Farmington City may be conducted via electronic means pursuant to Utah Code Ann. § 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.*

The agenda for the meeting shall be as follows:

### **CALL TO ORDER:**

7:00 Roll Call (Opening Comments/Invocation) Pledge of Allegiance

### **PRESENTATIONS:**

7:05 Introduction of the New Youth City Council Members and the Administration of Oath of Office

7:20 Introduction and Approval of New Historic Preservation Committee Members

### **PUBLIC HEARINGS:**

7:20 Resolution Amending the Consolidated Fee Schedule regarding Parks and Recreation Fees

### **SUMMARY ACTION:**

*(Items listed are considered routine in nature and will be voted on in mass unless pulled for separate discussion)*

7:30 Minute Motion Approving Summary Action List

1. Animal Control Contract with Davis County
2. Interlocal Agreement with Weber Basin for the Wasatch Front Regional Pipeline 950 N Corridor Preservation and Easement
3. Zayo Franchise Agreement
4. Surplus Aging Extrication Equipment and Fire Hose

**GOVERNING BODY REPORTS:**

7:35 City Manager Report

1. Fire Monthly Activity Report for January

7:40 Mayor Talbot & City Council Reports

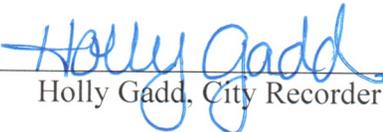
**ADJOURN**

**CLOSED SESSION**

Minute motion adjourning to closed session, if necessary, for reasons permitted by law.

DATED this 27th day of February, 2020.

**FARMINGTON CITY CORPORATION**

By:  \_\_\_\_\_  
Holly Gadd, City Recorder

**\*PLEASE NOTE:** Times listed for each agenda item are estimates only and should not be construed to be binding on the City Council.

*In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting, should notify Holly Gadd, City Recorder, 451-2383 x 205, at least 24 hours prior to the meeting.*

**Posted 02/28/2020**



## Planning Commission Staff Report March 5, 2020

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### Item 3: Sydney's Corner Subdivision Phase 2 Schematic Plan

Public Hearing:	Yes
Application No.:	S-1-20
Property Address:	Southwest corner of 650 West and Glovers Lane
General Plan Designation:	RRD (Rural Residential Density) PPR (Public/Private Recreation Open Space and/or Parks Very Low Density)
Zoning Designation:	AE PUD (Agricultural Estates)
Area:	.94
Number of Lots:	4
Property Owners:	Fred and Jennifer Sanchez
Agent:	Guy Haskell

*Applicant is requesting a recommendation for schematic plan approval.*

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#### **Background Information**

The applicant, Guy Haskell, is requesting schematic approval for 4 Lots on .94 acres of property located on the southwest corner of 650 west and Glovers Lane to create the Sydney's Corner Phase 2 Subdivision. As shown in the attached schematic plan, the subdivision will mirror Sydney's Corner Subdivision, across the street to the east. The applicant will need approval of 3 TDR lots to develop the proposed subdivision from the City Council and approval of a special exception by the Planning Commission.

The minimum lot size for a conventional subdivision in the AE zone is 1 acre; therefore, the applicant could get a yield of 1 lot. The applicant is requesting 4 lots with an average lot size of .22 acres or 9,583.2 square feet. The alternative lot size is 12000 square feet, however the number of lots created using the alternative lot size cannot exceed the amount of lots obtained through a yield plan, and therefore the applicant still would need to use 3 TDR lots to develop the proposed subdivision.

Section 11-3-045 of the Zoning Ordinance states in part:

*A special exception is an activity or use incidental to or in addition to a principal use permitted in a zoning district; or an adjustment to a fixed dimension standard permitted as an exception to the*

*requirements of this title; or a transfer of development right (TDR), or rights, established because of blight which results in an additional lot, or lots, or a dwelling unit, or units.*

Therefore, the applicant is wishing to use a special exception to develop the property and pursue the four lots as proposed.

**Suggested Motion**

Move that the Planning Commission recommend that the City Council approve the schematic plan and special exception for the Sydney Corner Phase 2 Subdivision subject to all applicable Farmington City development standards and ordinances and the following conditions:

1. The applicant shall obtain approval of the 3-lot TDR by the City Council.
2. The applicant shall address all outstanding DRC Comments.
3. Transfer lots considered as a special exception may only occur because of blight, and the applicant must complete a blight study, as defined and consistent with State Code, and the City must establish a finding of blight for the receiving area in order to approve such transfer.

**Findings for Approval:**

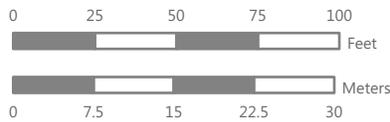
1. The City will receive compensation in the form of a TDR transaction through cash payment.
2. All lots front an existing fully improved public ROW (650 West and Glover Lane).
3. The development mirrors the development across the street and is consistent with the General Plan.
4. The subdivision will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.
5. The parcel size is comparable to the existing Sydney's Corner Subdivision is of sufficient size to accommodate the special exception.

**Supplementary Information**

1. Vicinity Map
2. Schematic Plan



**VICINITY MAP**  
Parcel ID 08-079-0008



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



# SYDNEY CORNER SUBDIVISION

## PHASE 2

TIPPET'S AND GLOVER LANE  
FARMINGTON CITY, UTAH

**FOR REVIEW**  
**NOT FOR CONSTRUCTION**

DATE PRINTED  
February 12, 2020

### INDEX OF DRAWINGS

- 1-1 SUBDIVISION PLAT
- 1-1 BOUNDARY TOPOGRAPHY SURVEY
- C-001 GENERAL NOTES
- C-100 SITE PLAN
- C-200 GRADING AND DRAINAGE PLAN
- C-300 UTILITY PLAN
- C-400 EROSION CONTROL PLAN
- C-500 DETAILS

#### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

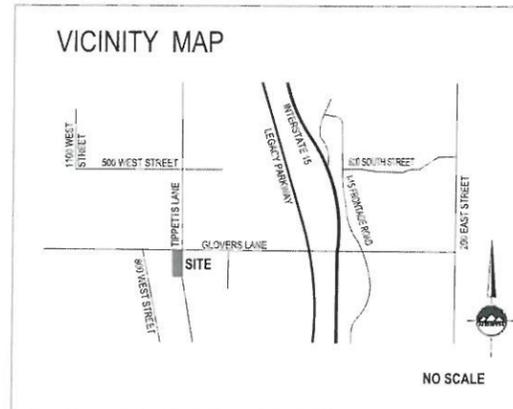
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

#### NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

#### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



### GENERAL NOTES

1. ALL WORK SHALL CONFORM TO FARMINGTON CITY STANDARDS & SPECIFICATIONS.
2. CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
3. BENCHMARK ELEVATION = CENTER OF SECTION 25, TOWNSHIP 3 NORTH RANGE 1 WEST, S.L.B.M., TOP OF BRASS CAP MEASUREMENT. ELEV. = 4234.91.
4. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH CENTRAL DAVIS SEWER DISTRICT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
5. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING MANHOLES AND OTHER UTILITIES BEFORE CONSTRUCTING ANY IMPROVEMENTS.
6. ALL SECONDARY WATER CONSTRUCTION SHALL COMPLY WITH WEBER BASIN WATER CONSERVANCY DISTRICT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.



**TOOELE**  
169 N. Main Street, Unit 1  
Tooele, UT, 84074  
Phone: 435.843.3590

**SALT LAKE CITY**  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2933

WWW.ENSIGNENG.COM

FOR:  
Lidwell Development, LLC  
890 Heritage Park Blvd, Suite 104  
Layton, Utah 84041

CONTACT:  
Guy Haskell  
PHONE: 801-874-9100

**SYDNEY CORNER SUBDIVISION**  
**PHASE 2**  
**TIPPET'S AND GLOVERS LANE**  
**FARMINGTON, UTAH**



COVER

PROJECT NUMBER: 5581  
PRINT DATE:  
DRAWN BY: C. CHILD  
CHECKED BY: C. PRESTON  
PROJECT MANAGER: D. KINSMAN

APPROVED FOR CONSTRUCTION

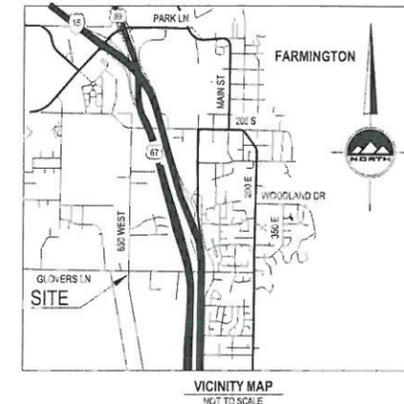
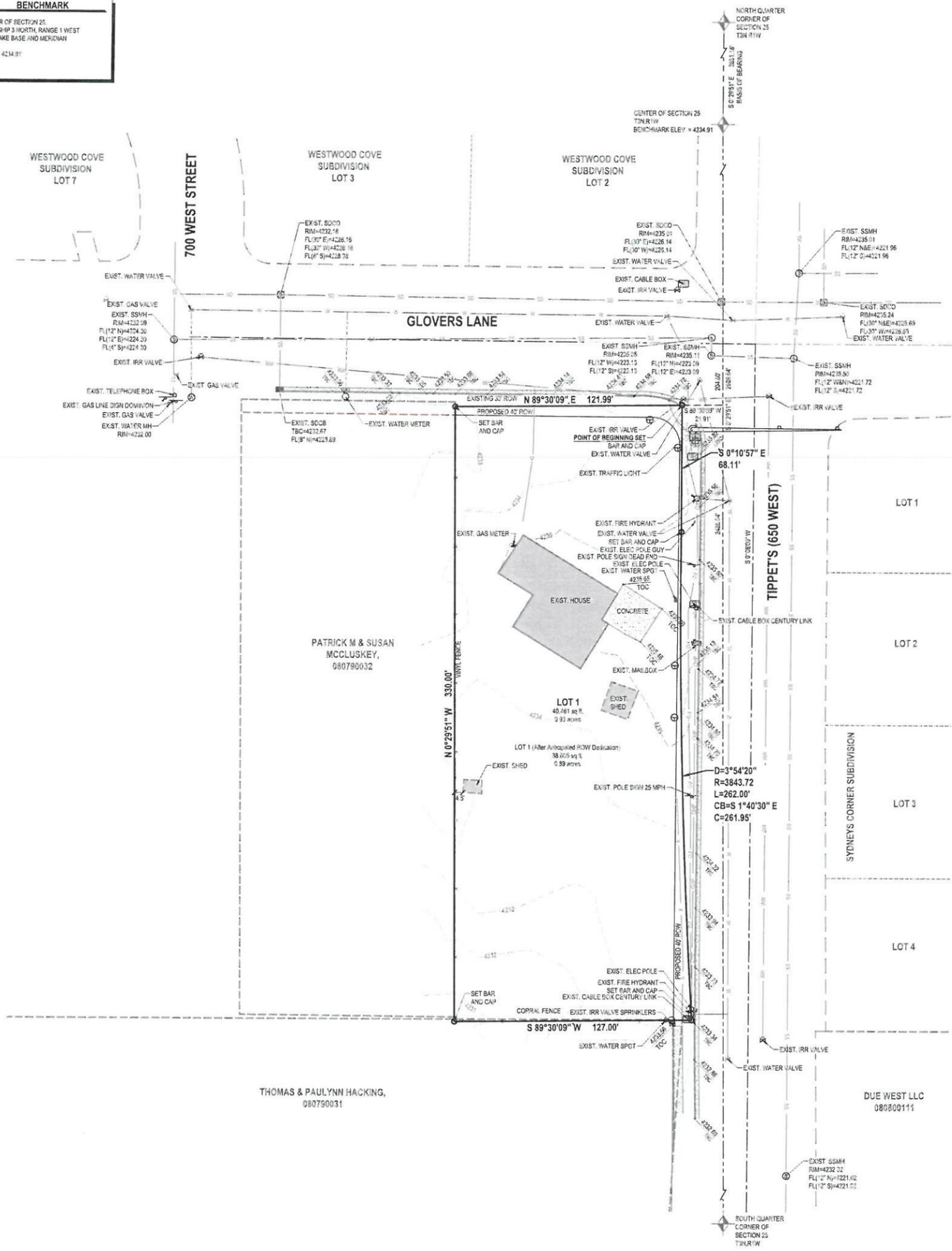
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**C-000**





**BENCHMARK**  
 CENTER OF SECTION 25  
 TOWNSHIP 3 NORTH, RANGE 1 WEST  
 SALT LAKE BASE AND MERIDIAN  
 ELEV = 4234.91'



**SURVEYORS CERTIFICATE**  
 I, Douglas J. Kinsman, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 334575 in accordance with Utah Code, Title 18, Chapter 22 - Professional Engineers and Professional Land Surveyors Licensing Act, as prescribed by the laws of the state of Utah.

**SURVEYORS NARRATIVE**  
 The purpose of this survey is to establish the boundary of the subject parcel, monument the corners, and provide boundary information to our client for subdivision planning. The basis of bearing for this survey is the line between the found monuments at the North Quarter Corner and the Center of Section 25, Township 3 North, Range 1 West, Salt Lake Base and Meridian which bears South 0°29'51" East 261.95 feet.

**BOUNDARY DESCRIPTION**  
 A parcel of land, situate in the Southwest Quarter of Section 25, Township 3 North, Range 1 West, Salt Lake Base and Meridian, said parcel also located in Farmington, Utah, more particularly described as follows:  
 Beginning at a point at the Southwest corner of the intersection of Glovers Lane and 650 West Street, point being South 1°29'51" East 204.40 feet along the Quarter Section line and South 89°30'09" West 21.91 feet, said point being the Point of Beginning;  
 thence South 0°10'57" East 68.11 feet along the West line of 650 West Street;  
 thence South 0°10'57" East 68.11 feet along the West line of 650 West Street;  
 thence South 89°30'09" West 127.00 feet along the arc of a 3,843.72 foot radius non-tangent curve to the left (center bears South 89°42'21" East and the long chord bears South 1°40'30" East 261.95 feet through a central angle of 2°54'20" along said West line;  
 thence South 89°30'09" West 127.00 feet;  
 thence North 0°29'51" West 330.00 feet to the South line of Glovers Lane;  
 thence North 89°30'09" East 121.99 feet along the East line of said Lane to the Point of Beginning.

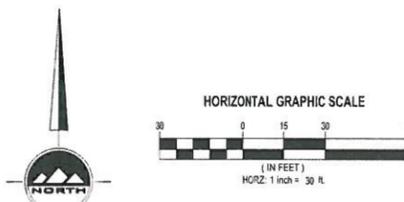
Contains 40.851 square feet or 0.93 acres.

**FEB 11, 2020**  
 Date  
 Douglas J. Kinsman  
 License no. 334575

**LEGEND**

	SECTION CORNER		ADJACENT RIGHT OF WAY
	SET 5/8" REBAR WITH YELLOW PLASTIC CAP, OR NAIL STAMPED "ENGIN ENG & LAND SURV."		RIGHT OF WAY
	WATER METER		CENTERLINE
	WATER MANHOLE		PROPERTY LINE
	WATER VALVE		ADJACENT PROPERTY LINE
	FIRE HYDRANT		FENCE
	SECONDARY WATER VALVE		SANITARY SEWER LINE
	IRRIGATION VALVE		STORM DRAIN LINE
	SANITARY SEWER MANHOLE		CULINARY WATER LINE
	STORM DRAIN CLEAN OUT		SECONDARY WATER LINE
	STORM DRAIN CATCH BASIN		IRRIGATION LINE
	SIGN		OVERHEAD POWER LINE
	ELECTRICAL BOX		GAS LINE
	UTILITY MANHOLE		EXISTING CONTOURS
	UTILITY POLE		CONCRETE
	LIGHT		BUILDING
	CABLE BOX		
	TELEPHONE BOX		
	GAS METER		
	TRAFFIC SIGNAL BOX		
	FENCE POST		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



LOCATED IN THE SOUTHWEST CORNER OF SECTION 25, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, DAVIS COUNTY, FARMINGTON UTAH

**ENSIGN**  
 THE STANDARD IN ENGINEERING

**LAYTON**  
 1485 W. Hill Field Rd., Ste. 204  
 Layton, UT 84041  
 Phone: 801.547.1100

**SALT LAKE CITY**  
 Phone: 801.255.0529

**TOOELE**  
 Phone: 435.843.3590

**CEDAR CITY**  
 Phone: 435.865.1453

**RICHFIELD**  
 Phone: 435.896.2983

**WWW.ENSIGNENG.COM**

PROJ: UpWell Development, LLC, 850 Heritage Park Blvd, Suite 104 LAYTON, UT 84041  
 CONTACT: Guy Haskell  
 PHONE: 801-874-9100

**SYDNEY CORNER SUBDIVISION**  
**PHASE 2**  
**650 WEST GLOVERS LANE**  
**FARMINGTON, UTAH**



**BOUNDARY/ TOPOGRAPHY SURVEY**

PROJECT NUMBER: 9581      PRINT DATE: 2/12/20  
 DRAWN BY: A. SHELBY      CHECKED BY: T. WILLIAMS  
 PROJECT MANAGER: D. KINSMAN

**1 OF 1**

**811**  
CALL BEFORE YOU DIG  
Know what's below.  
Call before you dig.

**BENCHMARK**  
CENTER OF SECTION 25,  
TOWNSHIP 3 NORTH, RANGE 1 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4234.91'

**DEMOLITION GENERAL NOTES**

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THE VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTIONS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

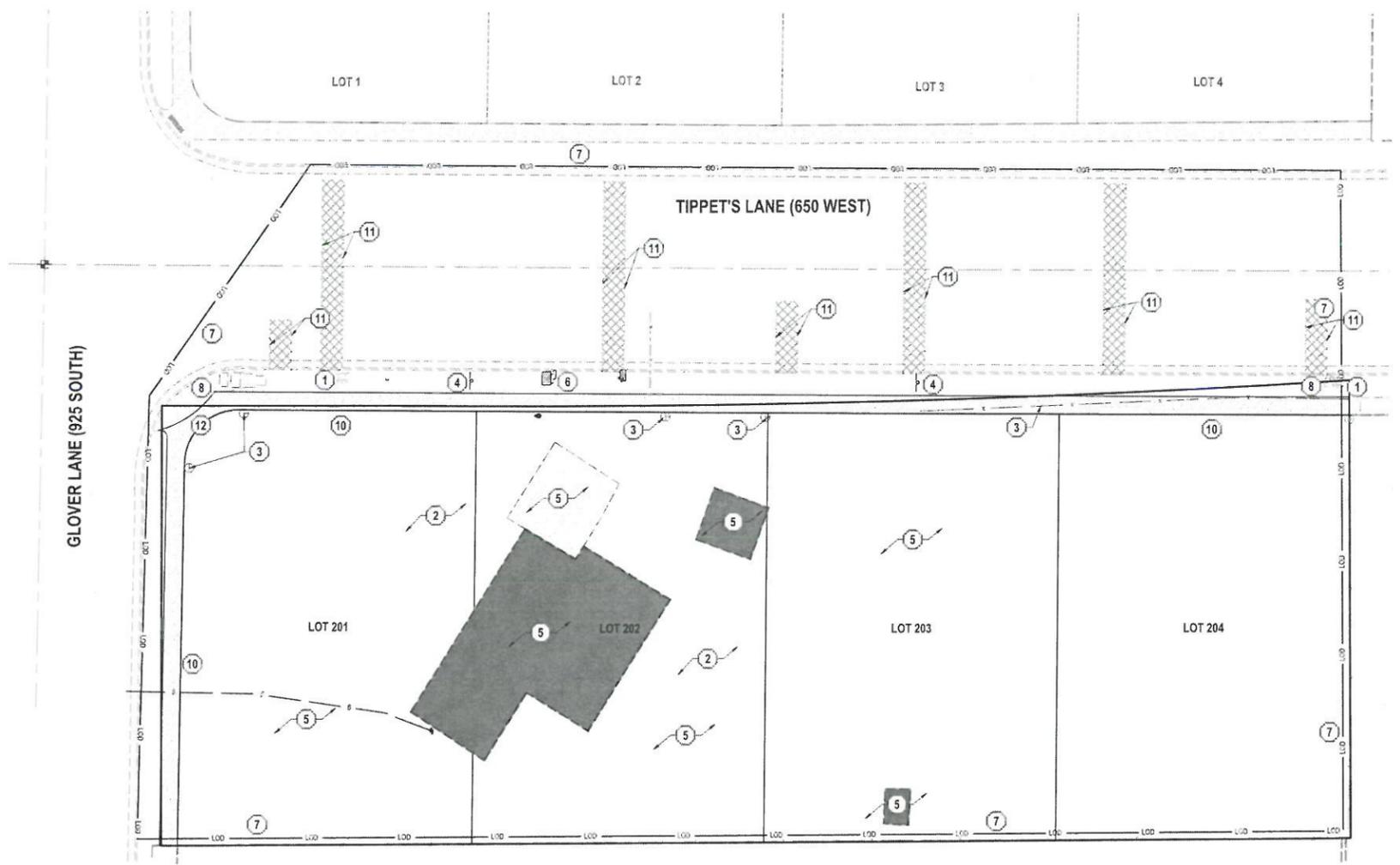
**SITE GENERAL NOTES**

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D., MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

**SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- PROTECT EXISTING FIRE HYDRANT.
- REMOVE EXISTING LANDSCAPING IN THIS AREA.
- REMOVE OR PROPERLY RELOCATE EXISTING FENCE.
- REMOVE OR PROPERLY RELOCATE EXISTING SIGN.
- REMOVE AND PROPERLY DISPOSE OF EXISTING STRUCTURES, CONCRETE SLABS, STAIRS, ETC., INCLUDING ALL ELECTRICAL APPLIANCE/MECHANICALS. IN THIS AREA WHETHER OR NOT IDENTIFIED ON PLANS, CONTRACTOR TO FILL IN ALL HOLES CREATED DURING DEMOLITION WITH STRUCTURAL FILL TO PROPER SUBGRADE ELEVATION.
- COORDINATE WITH LOCAL POWER COMPANY. REMOVE AND/OR RELOCATE EXISTING POWER POLE, GUY WIRES.
- LIMIT OF DISTURBANCE.
- PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).
- NOT USED.
- 6" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- SAWCUT, REMOVE AND REPLACE ASPHALT FOR UTILITY INSTALLATION (TYP).
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.



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**CEDAR CITY**  
Phone: 435.865.1453

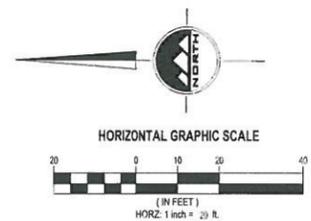
**RICHFIELD**  
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UPPER  
UpDwell Development, LLC  
690 Heritage Park Blvd, Suite 104  
Layton, Utah 84041

CONTACT  
Guy Haskels  
PHONE: 801-874-9100

**SYDNEY CORNER SUBDIVISION  
PHASE 2  
TIPPET'S AND GLOVERS LANE  
FARMINGTON, UTAH**



**APPROVED FOR CONSTRUCTION**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**SITE PLAN**

PROJECT NUMBER: 5081  
DATE: \_\_\_\_\_  
DESIGNED BY: C. CHILD  
CHECKED BY: G. PRESTON  
PROJECT MANAGER: D. KINEMAN

**C-100**

**811**  
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**BENCHMARK**  
CENTER OF SECTION 25,  
TOWNSHIP 3 NORTH, RANGE 1 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4234.91'

**GENERAL NOTES**

1. ALL WORK SHALL COMPLY WITH CURRENT APWA PLANS AND SPECIFICATIONS, AND WITH FARMINGTON CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
4. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VULNERABILITY SHALL BE BORNE BY THE CONTRACTOR AND ASSURED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
5. SURFACE & SUBSURFACE DRAINAGE SYSTEM (RETENTION PONDS OUTSIDE OF THE CITY STREET) TO BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS.
6. THE MINIMUM FINISH FLOOR ELEVATION (MFE) SHOWN ON THE PLAN IS BASED ON THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT BY CHRISTENSEN GEOTECHNICAL DATED 11/7/18. PROJECT NUMBER 100-216. THE MFE CAN BE LOWERED A MAXIMUM OF 3' DEEPER THAN THE ELEVATIONS SHOWN IF A LAND DRAIN SYSTEM WITH A JUMP PUMP IS INSTALLED PER THE RECOMMENDATIONS IN SECTION 5.8 OF THE GEOTECHNICAL REPORT.
7. ALL RETENTION BASINS ARE PRIVATELY OWNED AND MAINTAINED BY THE INDIVIDUAL LOT OWNERS.
8. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
9. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

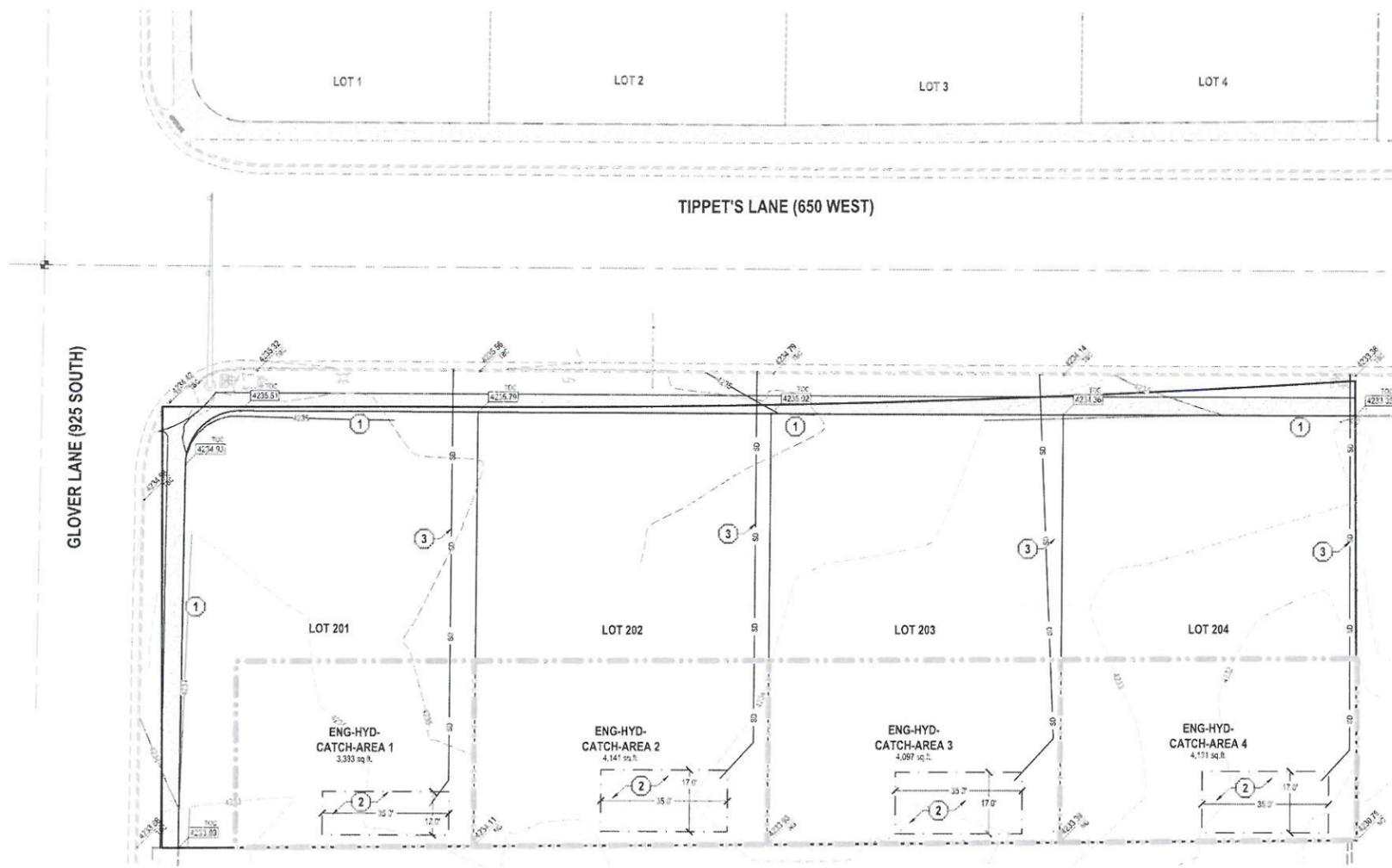
**SCOPE OF WORK:**

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. DAYLIGHT TO EXISTING GROUND WITH MAXIMUM 3:1 SLOPE.
  2. INSTALL 1" PVC PIPE FROM BASIN TO STREET FOR EMERGENCY PUMP DRAINAGE OF STORM WATER IF NECESSARY. PROVIDE HOSE CONNECTION AT THE BASIN. STORM WATER RUNOFF TO THE RETENTION POND WILL BE NATURALLY TREATED BY THE GRASS INSTALLED IN THE BACKYARDS (SIMILAR TO THE FRONT YARD DRAINAGE) PRIOR TO PUMPING TO THE STREET (IF NECESSARY).
  3. RETENTION BASIN DEPTH IS 8" FOR LOTS 202, 203, AND 204, AND 9" FOR LOT 201. PROVIDE BEAM AT PROPERTY LINE AS REQUIRED. SIZE AND DESIGN OF RETENTION BASIN TO BE FINALIZED ON INDIVIDUAL HOUSE SITE PLANS.

**Lot Retention Calculations (100 year storm)**

Runoff coefficient C: 0.33  
24 hr Intensity in/hr: 0.14

Lot	Area (ft <sup>2</sup> )	Required Storage (ft <sup>3</sup> )
201	3,383	299
202	4,141	366
203	4,105	362
204	4,124	364



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**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

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FOR:  
UnDwell Development, LLC  
850 Heritage Park Blvd, Suite 104  
Layton, Utah 84041

CONTACT:  
Guy Haskell  
PHONE: 801-874-9100

**SYDNEY CORNER SUBDIVISION  
PHASE 2  
TIPPET'S AND GLOVERS LANE  
FARMINGTON, UTAH**



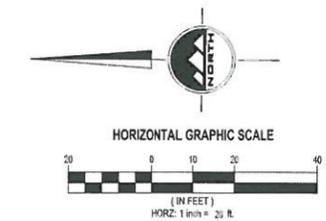
**GRADING AND DRAINAGE PLAN**

PROJECT NUMBER: 5081  
DATE: \_\_\_\_\_

DRAWN BY: C. CHLD  
CHECKED BY: C. PRESTON

PROJECT MANAGER: D. KINSMAN

**C-200**



APPROVED FOR CONSTRUCTION

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

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CALL 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION

**BENCHMARK**

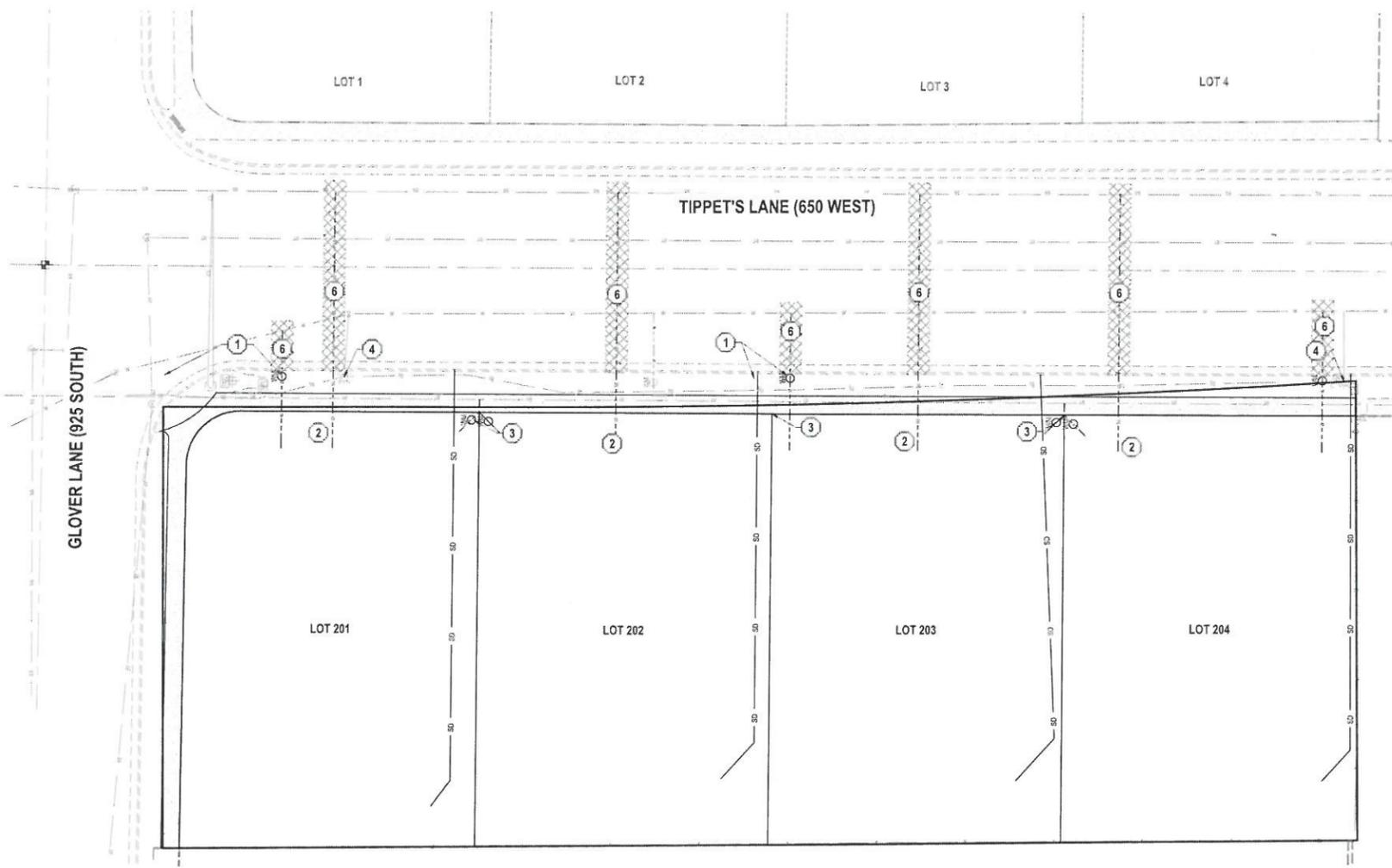
CENTER OF SECTION 25,  
TOWNSHIP 3 NORTH, RANGE 1 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4234.91'

**GENERAL NOTES**

1. ALL WORK SHALL COMPLY WITH CURRENT APWA PLANS AND SPECIFICATIONS, AND WITH FARMINGTON CITY STANDARD PLANS AND SPECIFICATIONS.
2. ALL PIPES CROSSINGS WITH LESS THAN 12" CLEARANCE SHALL BE PROTECTED WITH A CONCRETE PIER PER APWA PLAN NO. 373.
3. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXISTING INVERT ELEVATIONS FOR EXISTING UTILITIES AND THEIR LOCATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ALL HYDRANTS SHALL BE CONSTRUCTED PER FARMINGTON CITY STANDARD PLAN.
5. ALL WATER SERVICES SHALL BE CONSTRUCTED PER APWA PLAN NO. 521.
6. ALL WATER VALVES SHALL BE CONSTRUCTED PER FARMINGTON CITY STANDARD PLAN.
7. ALL SANITARY SEWER LATERALS SHALL BE CONSTRUCTED PER APWA STANDARD PLAN NO. 431.
8. ALL SANITARY SEWER MAN HOLES SHALL BE CONSTRUCTED PER CENTRAL DAVIS SEWER DISTRICT STANDARDS.
9. SEWER, IRRIGATION, AND WATER LATERALS SHALL BE STUBBED 15' PAST ROW AND MARKED WITH 2X4 POST.
10. MARK ALL UTILITY STUBS.
11. USE 4" GREEN PVC FOR SANITARY SEWER LATERALS.
12. ALL WORK PERTAINING TO INSTALLATION OF THE SECONDARY WATER SYSTEM SHALL MEET THE REQUIREMENTS AS SET FORTH IN THE CURRENT WEBER BASIN WATER CONSERVANCY DISTRICT'S PRESSURIZED IRRIGATION CONSTRUCTION SPECIFICATIONS AND DRAWINGS. ALL WORK PERTAINING TO INSTALLATION OF THE SECONDARY WATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
13. ALL NEW AND EXISTING SEWER LINES SHALL BE PROTECTED IN PLACE. ANY DAMAGED SEWER MAINS OR LATERALS WILL NEED TO BE REPLACED PER CENTRAL DAVIS SEWER DISTRICT STANDARDS.

**SCOPE OF WORK:**

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. 3/4" TYPE "K" COPPER CULINARY WATER SERVICE W/ 3/4" WATER METER PER FARMINGTON CITY STANDARDS
  2. 4" SDR-35 PVC SANITARY SEWER LATERAL @ 2.00% MINIMUM SLOPE, CONNECT TO THE EXISTING MAIN IN THE UPPER 1/2 OF THE SEWER MAIN PER CENTRAL DAVIS SEWER DISTRICT STANDARDS
  3. 1/2" DUAL TURNOUT SECONDARY WATER SERVICE WITH INDIVIDUAL METER PER WEBER BASIN WATER CONSERVANCY DISTRICT STANDARDS.
  4. EXISTING FIRE HYDRANT.
  5. NOT USED
  6. SAWCUT, REMOVE AND REPLACE ASPHALT FOR UTILITY INSTALLATION (TYP).



**TOOLE**  
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Phone: 801.255.0529

**LAYTON**  
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**CEDAR CITY**  
Phone: 435.865.1453

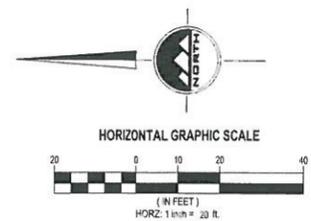
**RICHFIELD**  
Phone: 435.896.2983

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Prepared by:  
UpDevel Development, LLC  
800 Herby Park Blvd, Suite 104  
Layton, Utah 84041

Contact:  
Guy Hestel  
PHONE: 801-374-3190

**SYDNEY CORNER SUBDIVISION**  
**PHASE 2**  
**TIPPET'S AND GLOVERS LANE**  
**FARMINGTON, UTAH**



APPROVED FOR CONSTRUCTION

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER

**UTILITY PLAN**

PROJECT NUMBER: 5081  
DRAWN BY: C. CHILD  
PROJECT MANAGER: C. KINSMAN

PROJECT DATE: \_\_\_\_\_  
CHECKED BY: G. PRESTON

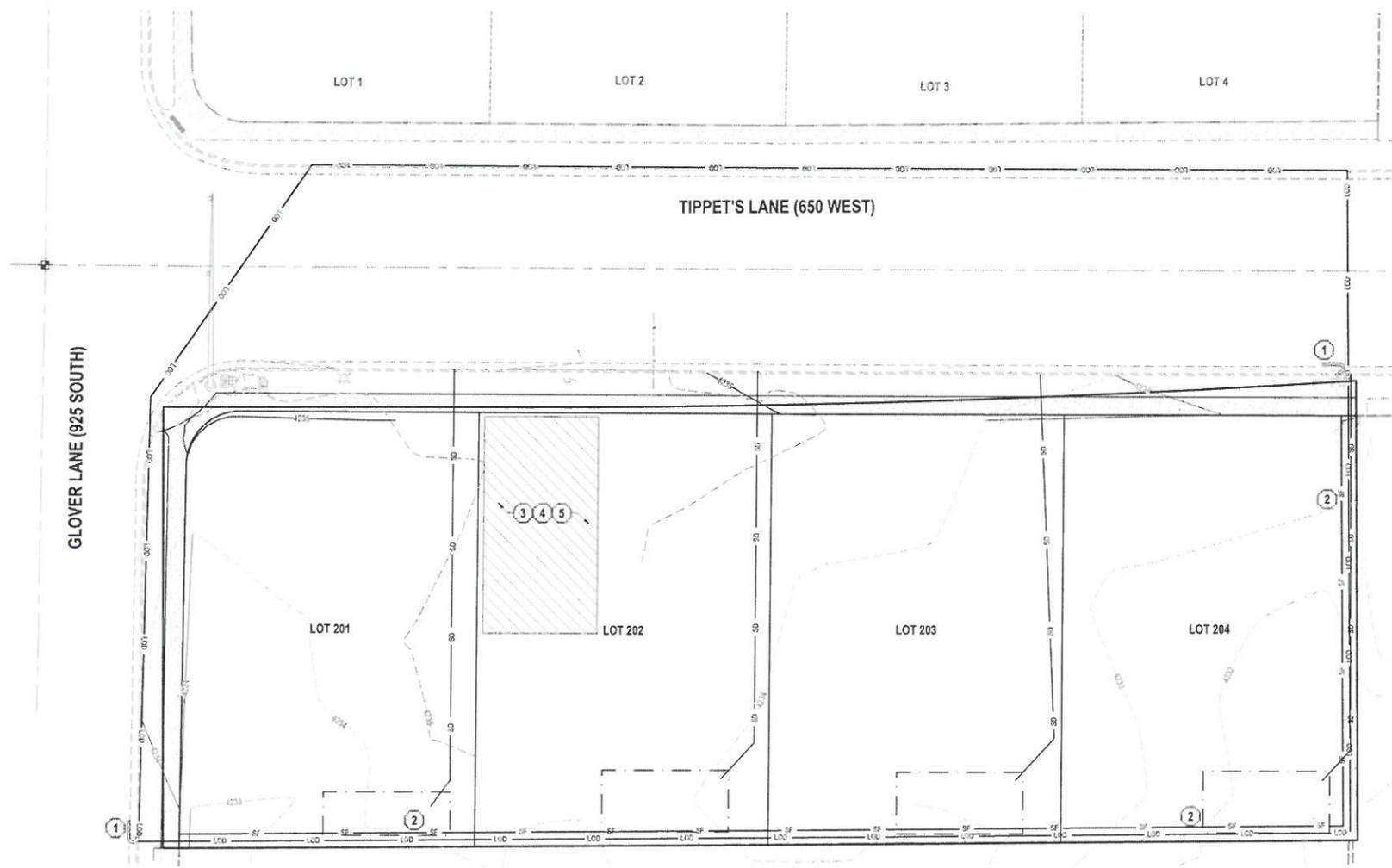
**C-300**

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PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION

**BENCHMARK**

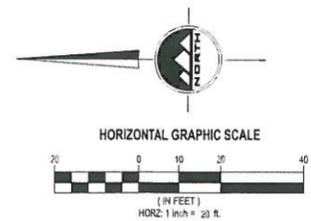
CENTER OF SECTION 35,  
TOWNSHIP 3 NORTH, RANGE 1 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4234.91'



- GENERAL NOTES**
1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMPs) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ON-SITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ON-SITE.
  2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
  3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
  4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RIMGFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
  5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMPs TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
  6. NOT ALL POSSIBLE BMPs HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
  7. A LAKES-UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

- SCOPE OF WORK:**  
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
1. INLET PROTECTION PER DETAIL 1C-509
  2. SILT FENCE PER DETAIL 2C-503
  3. PORTABLE TOILET PER DETAIL 3C-510
  4. SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, JUMPSTER, AND MATERIAL STORAGE AREA.
  5. SUGGESTED STOCKPILE AREA.

REVISION SCHEDULE			
NUMBER	DATE	AUTHOR	COMPANY REPRESENTATIVE SIGNATURE
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



APPROVED FOR CONSTRUCTION

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY ENGINEER



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Tooele, UT, 84074  
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**WWW.ENSGNENG.COM**

FOR:  
UpDwell Development, LLC  
890 Herby Lane Blvd, Suite 104  
Layton, Utah 84041

CONTACT:  
Guy Haskell  
PHONE: 801-874-9100

**SYDNEY CORNER SUBDIVISION  
PHASE 2  
TIPPET'S AND GLOVERS LANE  
FARMINGTON, UTAH**



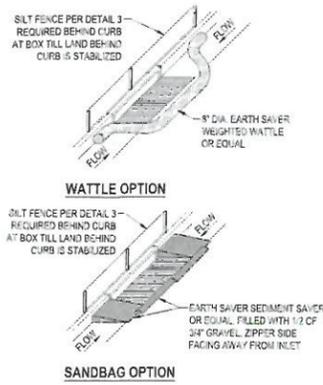
**EROSION CONTROL PLAN**

PROJECT NUMBER: 9581  
PROJECT DATE: \_\_\_\_\_

DRAWN BY: C. CHILD  
CHECKED BY: C. PRESTON

PROJECT MANAGER: D. KINSMAN

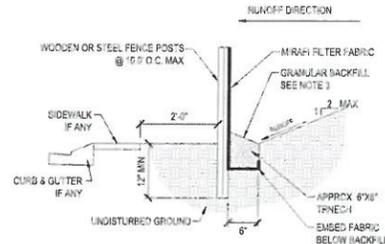
**C-400**



- NOTES:
1. PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT- Laden WATER FROM GETTING BETWEEN CURB AND WATTLE/BAG.
  2. PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
  3. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
  4. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
  5. CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
  6. BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 8" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

1 SAG INLET PROTECTION

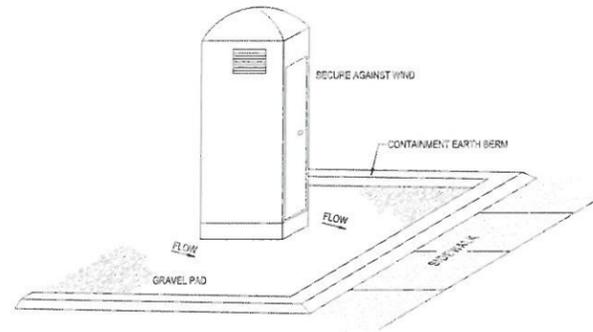
SCALE: NONE



- NOTES:
1. EXCAVATE 6" X 6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
  2. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
  3. LAY 1" OE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
  4. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M28-92 REQUIREMENTS.
  5. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
  6. 10' MAX. SPACING BETWEEN STAKES.
  7. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS. NOT UP AND DOWN SLOPES. WITH 10' OVERLAP AT BREAKS.

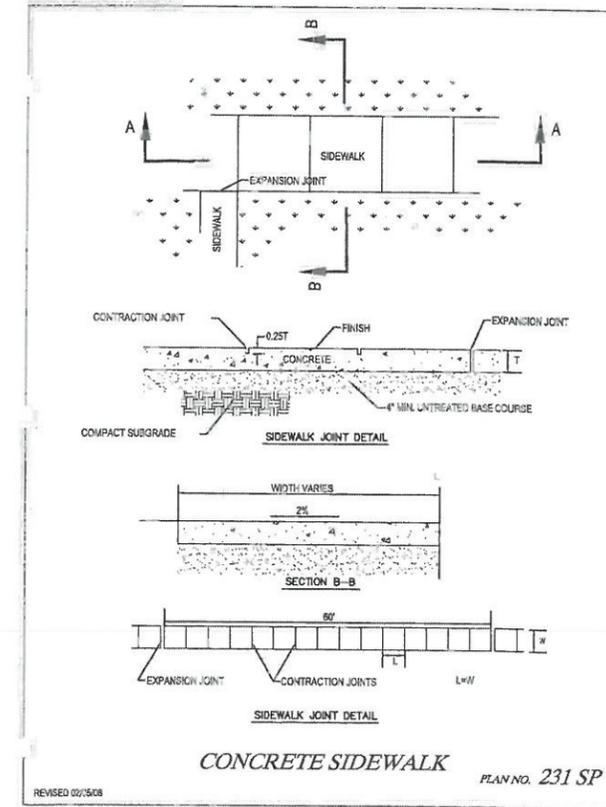
2 TEMPORARY SILT FENCE

SCALE: NONE



3 PORTABLE TOILET

SCALE: NONE



4 TYPICAL SIDEWALK

SCALE: NONE

CONCRETE SIDEWALK

NOTES:

1. UNTREATED BASE COURSE: PROVIDE MATERIAL SPECIFIED IN APWA SECTION 39 11.03. DO NOT USE GRAVEL. WITHOUT ENGINEER'S PERMISSION, PLACE PER APWA SECTION 32 05 10. COMPACT PER APWA SECTION 31 22 29 TO A MASSIFIED PROCTOR DENSITY OF 98-PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8-INCHES AFTER COMPACTION.
2. CONCRETE: CLASS 4000 PER APWA SECTION 03 30 04.
  - A. IF NECESSARY, PROVIDE CONCRETE THAT ACHIEVES DESIGN STRENGTH IN LESS THAN 7 DAYS. USE CAUTION, HOWEVER, AS SPIDER CRACKS DEVELOP IF AIR TEMPERATURE EXCEEDS 90 DEGREES F.
  - B. PLACE PER APWA SECTION 03 30 10.
  - C. UNLESS SHOWN OTHERWISE, PROVIDE 1/2 INCH RADIUS ON CONCRETE EDGES EXPOSED TO PUBLIC VIEW.
  - D. APPLY A CURING COMPOUND PER APWA SECTION 03 39 00 OR USE AN ACCEPTABLE ALTERNATE CURING METHOD.
3. EXPANSION JOINTS: FULL DEPTH 1/2 INCH THICK TYPE F1 JOINT FILLER MATERIAL PER APWA SECTION 32 13 73. SET TOP OF FILLER FLUSH WITH SURFACE OF CONCRETE.
4. CONTRACTION JOINTS: MAKE CONTRACTION JOINTS VERTICAL, AT LEAST 1/8 INCH WIDE, AND 1 INCH DEEP OR 1/4 SLAB THICKNESS IF THE SLAB IS GREATER THAN 4 INCHES THICK.
5. FINISH: BROOMED
6. DEPTH OF SIDEWALK (T):
  - A. NEW CONSTRUCTION: NOMINAL 6" IN RESIDENTIAL ZONES, 8" IN NON-RESIDENTIAL ZONES.
  - B. REMOVAL AND REPLACEMENT CONSTRUCTION: MATCH EXISTING.

\* MICRO-SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE MIX DESIGN. MICRO-SYNTHETIC FIBERS SHALL SERVE TO REDUCE PLASTIC SHRINKAGE CRACKING, REDUCE WATER MIGRATION, AND DAMAGE FROM FREEZE/THAW AND IMPROVE DURABILITY. FIBERS SHALL CONFORM TO ASTM 1130-11/15M, TYPE B FIBER REINFORCED CONCRETE AND SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.

PLAN NO. 231 SP

APPROVED FOR CONSTRUCTION

BY: CITY ENGINEER DATE:

**TOOELE**  
169 N. Main Street, Unit 1  
Tooele, UT 84074  
Phone: 435.843.3590

**SALT LAKE CITY**  
Phone: 801.255.0529

**LAYTON**  
Phone: 801.547.1100

**CEDAR CITY**  
Phone: 435.865.1453

**RICHFIELD**  
Phone: 435.896.2983

WWW.ENSGNENG.COM

FOR:  
UpDwell Development, LLC  
890 Heritage Park Blvd, Suite 104  
Layton, Utah 84041

CONTACT:  
Guy Huskell  
PHONE: 801-874-9193

**SYDNEY CORNER SUBDIVISION  
PHASE 2  
TIPPET'S AND GLOVERS LANE  
FARMINGTON, UTAH**



DETAILS

PROJECT NUMBER: 9561  
DRAWN BY: C. CHILD  
PROJECT MANAGER: D. KINGMAN

PRINT DATE:  
CHECKED BY: C. PRESTON

**C-500**



## Planning Commission Staff Report March 5, 2020

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### Item 4: The Preserve at Farmington Creek Final Plat

Public Hearing:	No
Application No.:	S-6-19
Property Address:	Approx. 90 West 675 North
General Plan Designation:	PPR-Public Private Recreation Open Space and or Parks Very Low Density LDR-Low Density Residential
Zoning Designation:	A-F (Agriculture) Foothill Overlay Zone
Area:	5.18 acres
Number of Lots:	11 lots
Applicant:	Andrew Hiller

*Applicant is requesting final plat approval*

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#### Background Information

Regarding this application referenced above, the Planning Commission passed a motion to recommend the City Council approve a schematic plan and rezone the property on July 18, 2019. On August 6, 2019, the City Council approved the schematic plan, but tabled action on the zone change and Preliminary PUD Master Plan to allow time for input from Davis County Flood Control regarding Farmington Pond and Dam. The City Council approved the Rezone and Preliminary PUD Master Plan as of October 8, 2019.

As a reminder, the development is proposed as a PUD, in order to allow for flexibility in lot size and setbacks as well as to preserve natural trees and vegetation on the site. The developer is proposing a new concrete bridge, which meets city and county standards for a typical municipal street while keeping the old wood bridge for pedestrian access.

Existing access to the site is via 90 West across an old wooden bridge crossing Farmington Creek. 90 West is owned by Davis County, thus it is not a dedicated right of way or an improved street, and does not meet the City width standards. The applicant will work with the county to dedicate the street prior to recordation, and must provide proof of adequate easements. The new road attached to 90 West, will be called Hidden Hollow. As a private road, it will be maintained and owned privately, including storm drain lines.

**Suggested Motion:**

Move that the Planning Commission approve the Final Plat for The Preserve at Farmington Creek Subdivision subject to all applicable Farmington City development standards and ordinances and the following conditions:

1. The developer must follow all requirements of Chapter 30 Foothill Development Standards.
2. The applicant shall provide a maintenance plan acceptable to the City for the common areas, internal private streets, the wood bridge etc.
3. Davis County must dedicate 90 West as a public right-of-way, proof must be provided by applicant.
4. This bridge must have stamped structural calculations and design.
5. The new street, Hidden Hollow, must be assigned a numerical coordinate.
6. The applicant must obtain a Davis County Flood Control Permit, which shall accommodate, among other things, long term maintenance of the dam and access.
7. The applicant must obtain a UDOT Encroachment Permit.
8. Any outstanding DRC issues shall be addressed prior to recordation.

**Findings:**

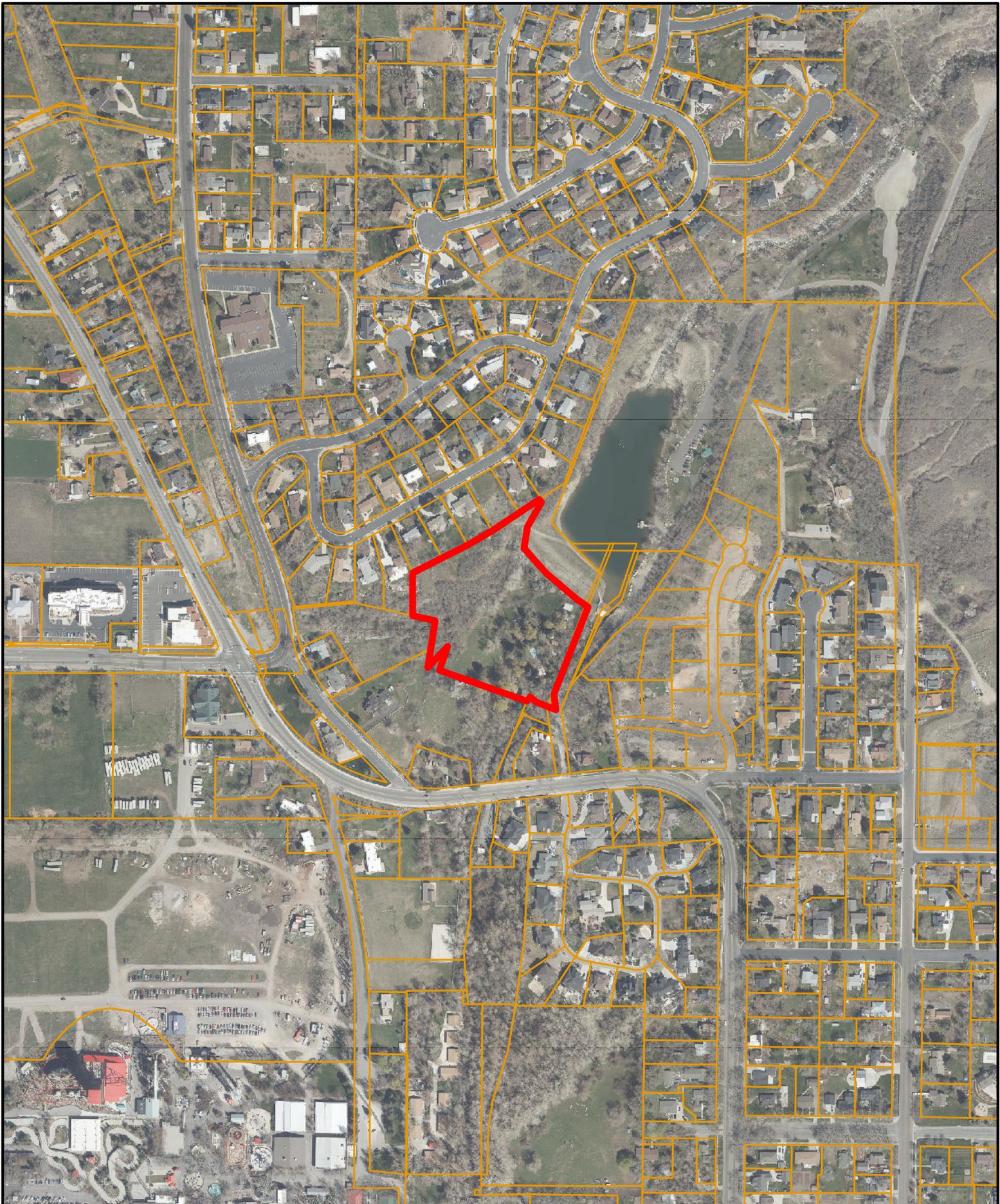
1. The proposed subdivision is consistent with the General Plan.
2. The PUD preserves the environmentally sensitive area next to Farmington Creek, and provides pedestrian access to Farmington Creek via the wood bridge.
3. Access will be improved at this location, by means of Hidden Hollow and 90 West.
4. The proposed Final Plat submittal is consistent with all necessary requirements as found in the City's Subdivision Ordinance.

**Supplemental Information**

1. Vicinity Map
2. Final Plat

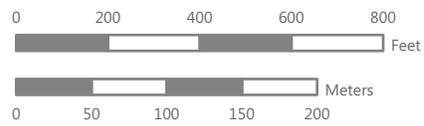
**Applicable Ordinances**

1. Title 12, Chapter 6 – Major Subdivisions
2. Title 12, Chapter 7 – General Requirements for All Subdivisions
3. Title 11, Chapter 11 – Single Family Residential Zones
4. Title 11, Chapter 27 – Planned Unit Developments
5. Title 11, Chapter 30 – Foothill Overlay Zone



# VICINITY MAP

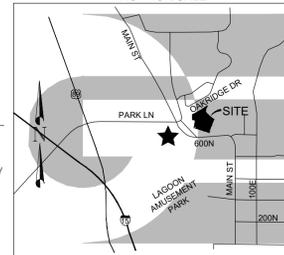
Parcel 07-014-0028



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

# FINAL PLAT FOR THE PRESERVE AT FARMINGTON CREEK A PLANNED UNIT DEVELOPMENT (PUD)

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, FARMINGTON CITY, DAVIS COUNTY, UTAH  
FEBRUARY 2020 VICINITY MAP NOT TO SCALE



### NOTES

- SUBJECT PROPERTY FALLS WITHIN FEMA FLOOD ZONE "AE" AND "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA MAP NO. 49011C0382E WITH AN EFFECTIVE DATE OF JUNE 18, 2007.
- CURRENT FARMINGTON CITY ZONING: LR-PUD 11 RESIDENTIAL LOTS, MINIMUM LOT AREA - 8,885 SQUARE FEET, AVERAGE LOT SIZE - 13,193 SQUARE FEET, OPEN SPACE 50,014 SQUARE FEET.
- A SOILS REPORT HAS BEEN PREPARED FOR THE CITY AND IS AVAILABLE AT CITY HALL.
- AREA FALLS IN A DAM INUNDATION / SPECIAL FLOOD HAZARD AREA SEE NOTICE ON SHEET 2.
- LOTS 10 AND 11 CAN DISCHARGE STORM WATER TO THE OPEN SPACE TO THE SOUTH.
- DETENTION BASIN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
- PRIVATELY OWNED LIGHTS, ROADS, EXISTING WOOD BRIDGE, NEW BRIDGE AND UTILITIES WITHIN THE PRIVATE DRIVE (EXCLUDING STORM DRAIN, SANITARY SEWER, SECONDARY WATER AND CULINARY WATER LINES) WILL BE MAINTAINED BY THE HOA.
- ANY STRUCTURE OR FENCE BETWEEN LOTS 8 & 9 IS PROHIBITED WITHIN THE 20 FOOT DRAINAGE/ ACCESS EASEMENT.

TOTAL AREA: 224,285 SF  
TOTAL COMMON OPEN SPACE EXCLUDING 30% SLOPE AREA: 42,892 SF  
PERCENT OF COMMON OPEN SPACE: 19.12%



Scale in Feet  
1" = 50'

DEVELOPER  
ANDREW HILLER  
801-725-2474  
1288 WEST ATRIUM COURT  
FARMINGTON UTAH, 84025

FARMINGTON CITY PLANNING COMMISSION  
APPROVED BY THE FARMINGTON CITY PLANNING COMMISSION,  
SIGNED THIS \_\_\_ DAY OF \_\_\_, 2020.

CHAIRMAN

FARMINGTON CITY ENGINEER  
APPROVED BY THE FARMINGTON CITY ENGINEER,  
SIGNED THIS \_\_\_ DAY OF \_\_\_, 2020.  
CITY ENGINEER

FARMINGTON CITY ATTORNEY  
APPROVED BY THE FARMINGTON CITY ATTORNEY,  
SIGNED THIS \_\_\_ DAY OF \_\_\_, 2020.

FARMINGTON CITY APPROVAL

APPROVED BY THE FARMINGTON CITY COUNCIL,  
SIGNED THIS \_\_\_ DAY OF \_\_\_, 2020.

ATTEST:  
TITLE: \_\_\_\_\_  
MAYOR

### BOUNDARY DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, BEGINNING AT A POINT ON THE EAST LINE OF LOT 36 BAYVIEW HEIGHTS PLAT C BEING LOCATED NORTH 00°16'50" WEST 1644.68 FEET ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER AND NORTH 80°00'00" EAST 195.22 FEET FROM THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER RUNNING THENCE NORTH 71°12'22" EAST 242.32 FEET; THENCE NORTH 41°52'24" EAST 78.29 FEET; THENCE NORTH 27°47'39" EAST 169.75 FEET TO THE SOUTHWEST CORNER OF LOT 41 BAYVIEW HEIGHTS PLAT E; THENCE SOUTH 33°50'40" EAST 20.12 FEET; THENCE NORTH 56°08'48" EAST 49.14 FEET; THENCE SOUTH 29°04'03" WEST 77.86 FEET; THENCE SOUTH 08°58'11" WEST 71.72 FEET; THENCE SOUTH 41°46'09" EAST 110.98 FEET; THENCE SOUTH 50°17'07" EAST 120.49 FEET; THENCE SOUTH 42°18'45" EAST 16.62 FEET; THENCE SOUTH 56°51'52" EAST 74.29 FEET; THENCE SOUTH 21°50'31" WEST 359.69 FEET; THENCE SOUTH 07°59'29" EAST 46.58 FEET; THENCE NORTH 88°07'35" WEST 91.85 FEET; THENCE NORTH 51°29'35" WEST 25.00 FEET; THENCE SOUTH 38°30'25" WEST 14.00 FEET; THENCE NORTH 71°14'41" WEST 300.38 FEET; THENCE NORTH 08°09'22" WEST 118.06 FEET; THENCE NORTH 09°54'19" EAST 103.19 FEET; THENCE NORTH 77°46'41" WEST 80.50 FEET TO THE SOUTHEAST CORNER OF SAID LOT 36; THENCE ALONG THE EAST LINE OF SAID LOT 36 NORTH 00°16'41" WEST 68.23 FEET TO THE POINT OF BEGINNING, CONTAINING 5.149 ACRES.

### SURVEYOR'S CERTIFICATE

I, KLINT H. WHITNEY, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH AND THAT I HOLD CERTIFICATE NO. 8227228 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS RECORD OF SURVEY PLAT IN ACCORDANCE WITH SECTION 17-23-20 AND HAVE VERIFIED ALL MEASUREMENTS; THAT THE REFERENCE MONUMENTS SHOWN ON THIS RECORD OF SURVEY PLAT ARE LOCATED AS INDICATED AND ARE SUFFICIENT TO RETRACE OR REESTABLISH THIS SURVEY; AND THAT THE INFORMATION SHOWN HEREIN IS SUFFICIENT TO ACCURATELY ESTABLISH THE LATERAL BOUNDARIES OF THE HEREIN DESCRIBED TRACT OF REAL PROPERTY.

SIGNED THIS \_\_\_ DAY OF \_\_\_, 2020.



KLINT H. WHITNEY, PLS NO. 8227228

### OWNER'S DEDICATION

I THE UNDERSIGNED OWNER OF THE HEREON DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS, PARCELS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID TRACT:

THE PRESERVE AT FARMINGTON CREEK A PLANNED UNIT DEVELOPMENT (PUD) AND HEREBY DEDICATE, GRANT AND CONVEY TO FARMINGTON CITY, DAVIS COUNTY, UTAH, ALL THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS ROADS, THE SAME TO BE USED AS PUBLIC THROUGHFARES FOREVER, AND ALSO GRANT AND DEDICATE A PERPETUAL EASEMENT OVER, UPON AND UNDER THE LANDS DESIGNATED ON THE PLAT AS PUBLIC UTILITY AND DRAINAGE EASEMENT (PUDE), THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES, STORM DRAINAGE FACILITIES OR FOR THE PERPETUAL PRESERVATION OF WATER DRAINAGE CHANNELS IN THEIR NATURAL STATE, WHICHEVER IS APPLICABLE AS MAY BE AUTHORIZED BY FARMINGTON CITY, UTAH, WITH NO BUILDINGS OR STRUCTURES BEING ERRECTED WITHIN SUCH EASEMENTS, AND ALSO GRANT, DEDICATE AND CONVEY LAND DESIGNATED AS PRIVATE STREETS AS ACCESS TO INDIVIDUAL LOTS AND COMMON OPEN SPACE AREAS TO BE MAINTAINED BY THE PRESERVE AT FARMINGTON CREEK P.U.D. HOME OWNERS ASSOCIATION WHICH SHALL BE GOVERNED IN ACCORDANCE WITH THE UTAH COMMUNITY ASSOCIATION ACT AND WHOSE MEMBERSHIP SHALL CONSIST OF THE OWNERS OF SAID LOTS, THEIR GRANTEEES, SUCCESSORS, OR ASSIGNS AND GRANT AND DEDICATE TO FARMINGTON CITY A PERPETUAL PRIVATE STREET EASEMENT OVER, UPON AND UNDER LANDS DESIGNATED AS PRIVATE STREET TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND STORM DRAINAGE FACILITIES AND GRANT AND DEDICATE TO CENTRAL DAVIS SEWER DISTRICT A TWENTY FOOT PERPETUAL SEWER EASEMENT CENTERED ON THE SEWER LINES TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF SEWER UTILITY SERVICE LINES. AND ALSO GRANT, DEDICATE AND CONVEY LAND DESIGNATED AS COMMON OPEN SPACE TO BE USED FOR RECREATIONAL AND OPEN SPACE PURPOSES FOR THE BENEFIT OF EACH LOT OWNER IN COMMON WITH ALL OTHER IN THE SUBDIVISION AND GRANT AND DEDICATE TO FARMINGTON CITY A PERPETUAL OPEN SPACE RIGHT EASEMENT ON AND OVER THE COMMON AREAS TO GUARANTEE TO FARMINGTON CITY THAT THE COMMON AREAS REMAIN OPEN AND UNDEVELOPED EXCEPT FOR APPROVED RECREATIONAL AND OPEN SPACE PURPOSES APPROVED BY FARMINGTON CITY, AND ALSO DEDICATE, GRANT AND CONVEY TO FARMINGTON CITY AN EASEMENT FOR PUBLIC UTILITY LINES OVER UPON AND UNDER THOSE PORTIONS OF SAID PLAT DESIGNATED AS COMMON AREA OPEN SPACE, OF THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF SANITARY SEWER LINES, STORM DRAINAGE FACILITIES AND OTHER UTILITIES AS SEEN FIT BY FARMINGTON CITY, AND ALSO DEDICATE, GRANT AND CONVEY TO DAVIS COUNTY AND FARMINGTON CITY AN ACCESS EASEMENT FOR PROPERLY MAINTAINING, REPAIRING, SERVICING AND ANY IMPROVEMENT NEEDED FOR THE CREEK.

SIGNED THIS \_\_\_ DAY OF \_\_\_, 2020.

THE PRESERVE AT FARMINGTON CREEK, LLC

BY: ANDREW HILLER  
ITS: MANAGER

### LEGEND

- DAVIS COUNTY MONUMENT AS NOTED
- SET 24" REBAR & CAP GARDNER ENGINEERING®
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- SECTION LINE
- EASEMENT
- EXISTING FENCE LINE
- BUILDING SETBACK LINE
- FEMA FLOODWAY ZONE AE
- PUBLIC ROAD DEDICATION (1245 SF)
- 30% SLOPE OR GREATER

### ACKNOWLEDGEMENT

STATE OF UTAH )  
COUNTY OF DAVIS )

On this \_\_\_ day of \_\_\_, 2020, personally appeared before me ANDREW HILLER, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he/she is the MANAGER OF THE PRESERVE AT FARMINGTON CREEK, LLC, and that said document was signed by him/her in behalf of said Corporation by Authority of its Bylaws, or (Resolution of its Board of Directors), and said ANDREW HILLER acknowledged to me that said Corporation executed the same.

STAMP

NOTARY PUBLIC

### BENCHLAND IRRIGATION

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.  
APPROVED THIS \_\_\_ DAY OF \_\_\_, 2020.

SIGNATURE

### CENTRAL DAVIS SEWER DISTRICT

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.  
APPROVED THIS \_\_\_ DAY OF \_\_\_, 2020.

SIGNATURE

### NARRATIVE

THE PURPOSE OF THIS SURVEY WAS TO CREATE A SUBDIVISION ON THE PROPERTY AS SHOWN AND DESCRIBED HEREON. THE SURVEY WAS ORDERED BY ANDREW HILLER. THE CONTROL USED TO ESTABLISH THE BOUNDARY WAS THE EXISTING DAVIS COUNTY SURVEY MONUMENTATION AS SHOWN HEREON AND A SURVEY CONDUCTED BY BENCHMARK CIVIL ENGINEERING OF THE SUBJECT PROPERTY. THE BASIS OF BEARING IS THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 3 NORTH, RANGE 1 EAST, OF THE SALT LAKE BASE AND MERIDIAN WHICH BEARS NORTH 00°16'50" WEST DAVIS COUNTY BEARING. THE RIGHT-OF-WAY OF 90 WEST STREET WAS ESTABLISHED BY DEED CONVEYED TO DAVIS COUNTY AND SINCE INCORPORATED WITHIN FARMINGTON CITY.

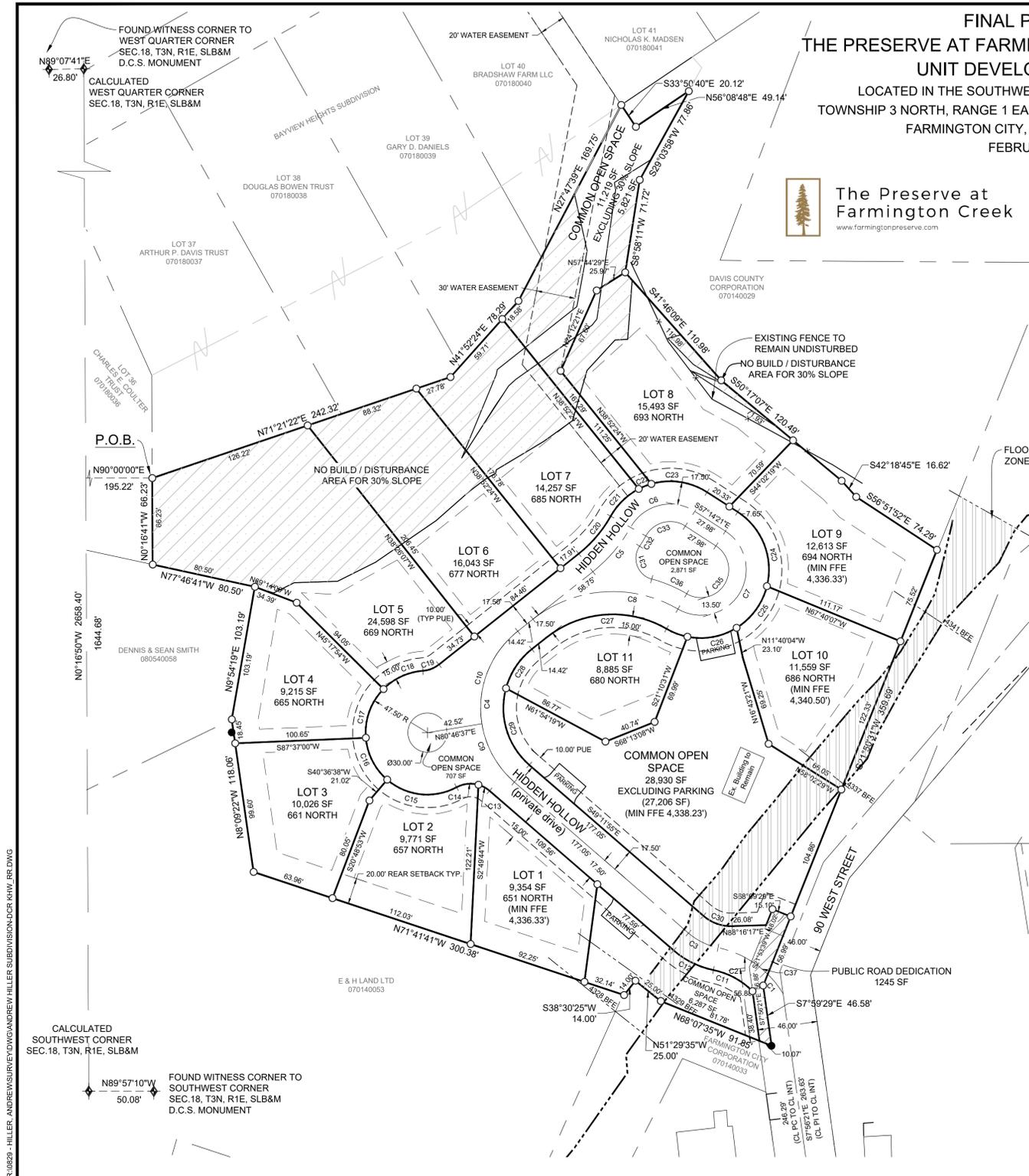
### OWNERS CONSENT TO RECORD

I ANDREW HILLER THE UNDERSIGNED OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, CONSENT TO THE RECORDING OF THIS DOCUMENT.  
SIGNED THIS \_\_\_ DAY OF \_\_\_, 2020.

ANDREW HILLER, MANAGER, THE PRESERVE AT FARMINGTON CREEK, LLC

### DAVIS COUNTY RECORDER

BOOK NUMBER \_\_\_\_\_  
PAGE NUMBER \_\_\_\_\_  
ENTRY NUMBER \_\_\_\_\_  
TIME RECORDED \_\_\_\_\_  
DATE RECORDED \_\_\_\_\_  
FEE PAID \_\_\_\_\_  
DAVIS COUNTY RECORDER  
BY: \_\_\_\_\_  
DEPUTY RECORDER



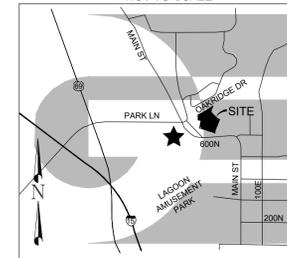
R:\0203 - HILLER, ANDREW\SURVEY\0203\ANDREW HILLER SUBDIVISION\0203\DWG



# FINAL PLAT FOR THE PRESERVE AT FARMINGTON CREEK A PLANNED UNIT DEVELOPMENT (PUD)

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18,  
TOWNSHIP 3 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,  
FARMINGTON CITY, DAVIS COUNTY, UTAH  
February 2020

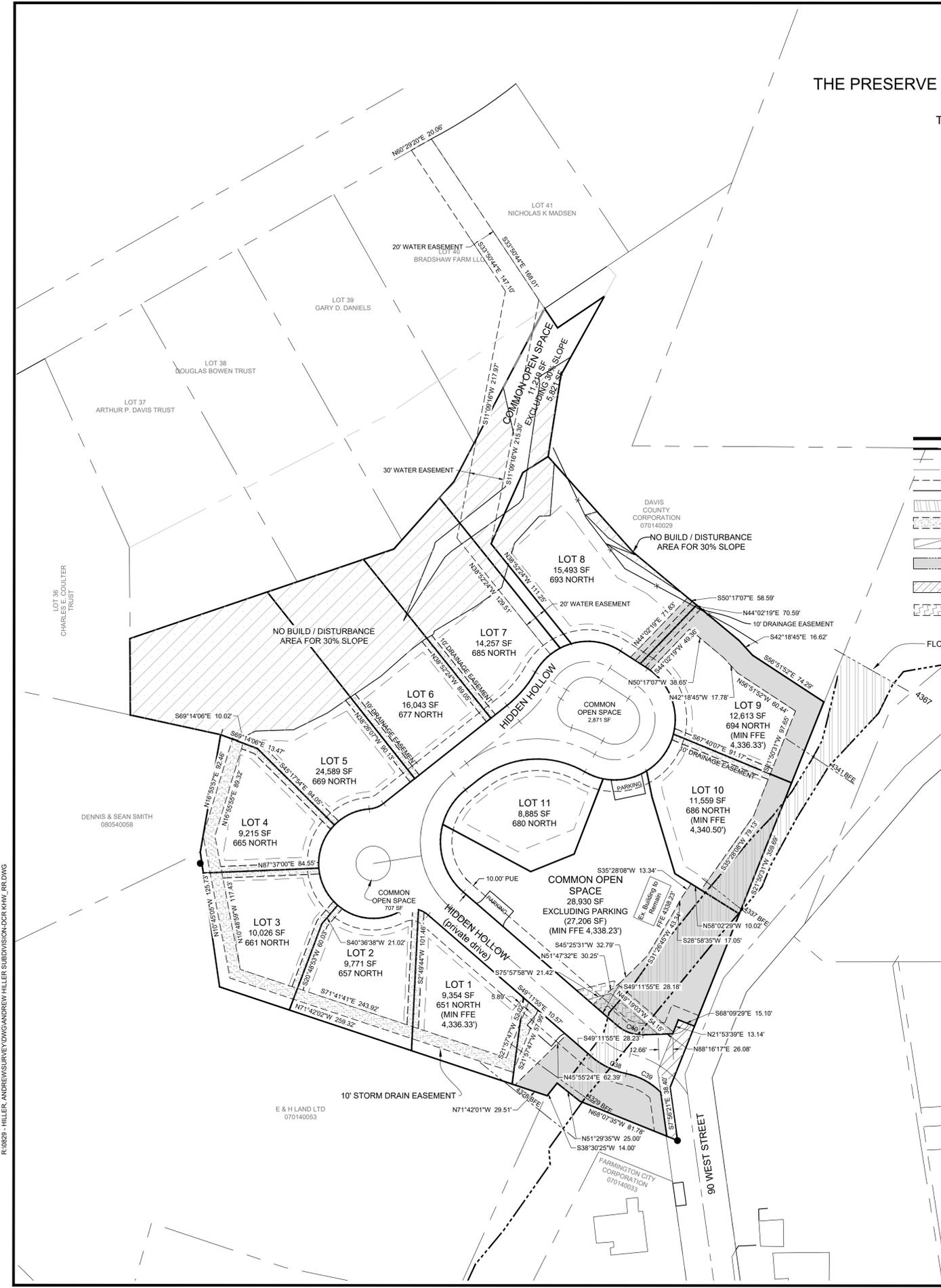
VICINITY MAP  
NOT TO SCALE



LEGEND

- DAVIS COUNTY MONUMENT AS NOTED
- SET 24" REBAR & CAP "GARDNER ENGINEERING"
- SUBDIVISION BOUNDARY
- LOT LINE
- ADJACENT PARCEL
- SECTION LINE
- EASEMENT
- EXISTING FENCE LINE
- FEMA FLOODWAY ZONE AE
- 10' STORM DRAIN / DRAINAGE EASEMENT
- PUBLIC ROAD DEDICATION (1245 SF)
- DRAINAGE ACCESS/MAINTENANCE EASEMENT FOR DAVIS COUNTY/FARMINGTON CITY
- 30% SLOPE OR GREATER
- 20' SANITARY SEWER EASEMENT

Scale in Feet  
1" = 50'



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	18.99	76.50	14.22	N38° 29' 25"W	18.94
C2	28.07	76.50	21.02	N67° 58' 18"W	27.91
C3	25.55	50.00	29.28	N63° 50' 25"W	25.28
C4	132.10	75.00	100.92	N1° 15' 40"E	115.68
C5	44.93	115.00	22.39	N40° 31' 41"E	44.65
C6	57.12	35.00	93.51	N76° 05' 21"E	50.99
C7	108.25	35.00	177.21	S31° 27' 00"W	69.98
C8	118.77	100.00	68.05	S86° 01' 55"W	111.91
C9	52.33	75.00	39.98	N29° 12' 39"W	51.27
C10	79.78	75.00	60.94	N21° 14' 56"E	76.07
C11	34.66	59.00	33.66	N61° 39' 07"W	34.16
C12	34.50	67.50	29.28	N63° 50' 25"W	34.12
C13	9.81	22.50	24.99	N61° 41' 33"W	9.74
C14	17.33	22.50	44.14	S83° 44' 36"W	16.91
C15	57.15	47.50	68.94	N83° 51' 30"W	53.77
C16	36.97	47.50	44.59	N27° 05' 34"W	36.04
C17	41.04	47.50	49.50	N19° 57' 10"E	39.77
C18	34.14	47.50	41.18	N65° 17' 30"E	33.41
C19	13.41	22.50	34.16	N68° 48' 04"E	13.22
C20	38.09	97.50	22.39	N40° 31' 41"E	37.85
C21	30.43	52.50	33.21	N45° 56' 26"E	30.01
C22	10.48	52.50	11.44	N68° 15' 57"E	10.46
C23	44.75	52.50	48.84	S81° 35' 35"E	43.41
C24	65.30	52.50	71.26	S21° 32' 31"E	61.17
C25	40.49	52.50	44.19	S36° 11' 05"W	39.50
C26	39.36	52.50	42.95	S79° 45' 26"W	38.44
C27	98.40	82.50	68.34	S85° 53' 19"W	92.67
C28	36.59	57.50	36.46	S33° 29' 34"W	35.97
C29	64.69	57.50	64.46	S16° 58' 01"E	61.33
C30	24.12	32.50	42.53	S70° 27' 49"E	23.57
C31	31.18	16.50	108.26	S20° 36' 51"E	26.74
C32	9.37	128.50	4.18	S31° 25' 29"W	9.37
C33	35.10	21.50	93.53	S76° 06' 02"W	31.33
C35	66.49	21.50	177.19	N31° 27' 41"E	42.99
C36	29.32	113.50	14.80	S67° 20' 34"E	29.23
C37	15.84	76.50	11.86	N51° 31' 53"W	15.81
C38	34.50	67.50	29.28	S63° 50' 25"E	34.12
C39	34.66	59.00	33.66	S61° 39' 07"E	34.16
C40	24.12	32.50	42.53	S70° 27' 49"E	23.57

**Notice: Policy Statement for Developments in Dam Failure Inundation Areas;** known on the respective Flood Inundation Map by the State of Utah, State Engineer's Office, Dam Safety Division as areas of 'Sunny-Day Failure' and 'Probable Maximum Flood' (Rainy Day Failure).

Upon consultation with Mr. Dave Marble, Assistant State Engineer, of the Utah Office of State Dam Safety, and the local jurisdiction of Farmington City, with Chad Boshell, P.E., as the City Engineer, and/or \_\_\_\_\_ as the local Floodplain Manager, Storm Drainage Utility Manager, Community Development Director, or Other Local Acting Official (circle all that apply).

All Developers, Property Owners, Residents, and Occupants, as 'Downstream Residents', and responsible Public Agency Officials for real and public property, main and accessory structures, capital improvements, public utilities, private improvements and facilities, and general areas within the mapped boundaries set forth and shown by the State Engineer's Office, Dam Safety Division, are notified as part of the Emergency Action Plan (EAP) and Standard Operating Procedures (SOP) by Davis County Public Works/Flood Control Engineering that the aforementioned subdivisions/properties and appurtenances located at \_\_\_\_\_ are within the boundaries of the areas of the Farmington Pond Flood Inundation Map, as noted in the attached report prepared by Davis County Public Works under mandate of the Utah Code Annotated (UCA) and rules for Dam Safety; Site # UT00692, dated May 2016.

As part of the Davis County Flood Control Permit application process as provided by the Davis County Flood Control Ordinance #01-97 and Amendments, also known as Title 12.04 - "Storm Drainage System", and Title 14.04.259A, Article E, "Flood Damage Protection" of the Davis County Municipal Code, and/or the local Municipal and Subdivision Development Codes, Floodplain Development Permits, and Flood Damage Prevention Ordinances as mandated by State Law and local Ordinance, it is requested that a potential Dam Failure Inundation/Special Flood Hazard Area (DFI/SFHA) be designated on, transferred to, and noted on the divided property ownership parcel plats and subdivision dedication plats for the listed properties and developments by delineating and labeling thereon as the 'Dam Failure Inundation Area' and 'Probable Maximum Flood (Rainy Day Failure) Area' and 'Sunny Day Failure Area', prior to recordation with the Davis County Recorder's Office, as a 'Notice' to the developers, owners, residents, occupants, utility purveyors, public officials, and others of the stated purposes, responsibilities, emergency procedures, communications, and actions outlined and detailed in the 'Emergency Action Plan (EAP)' and the 'Standard Operating Procedure' (SOP) and its various related documents, and as periodically amended and updated with the State Office of Dam Safety.

See Report 'Farmington Pond Debris Basin/UT00692, Davis County, Utah, Emergency Action Plan and Standard Operating Procedures for Davis County Public Works, May 2016', prepared by Davis County Public Works (Attached as Exhibit A, with attention to the Notification Flow Chart therein).

As further information, the attached publications 'Living with Dams', 'Extreme Rainfall Events', and the 'Contact Information' for the State Engineer's Office are included as reference material.  
Living with Dams Brochure (1).pdf  
Dam Safety publication Extreme Rainfall Events.pdf  
Contact Stream Alteration.htm (includes Dam Safety; contact 'davemarle@utah.gov')

This Notice/Policy Statement is available, as adopted July 3, 2019, through Davis County Public Works/Flood Control.

R:0629 - HILLER, ANDREW SURVEYOR ANDREW HILLER SUBDIVISION DCR KHW, RRDWG

S2  
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GARDNER ENGINEERING  
CIVIL, LAND PLANNING  
MUNICIPAL, LAND SURVEYING  
5150 SOUTH 375 EAST OGDEN, UT  
OFFICE: 801-476-0202 FAX: 801-476-0666

DAVIS COUNTY RECORDER

BOOK NUMBER \_\_\_\_\_

PAGE NUMBER \_\_\_\_\_

ENTRY NUMBER \_\_\_\_\_

TIME RECORDED \_\_\_\_\_

DATE RECORDED \_\_\_\_\_

FEE PAID \_\_\_\_\_

DAVIS COUNTY RECORDER

BY: \_\_\_\_\_

DEPUTY RECORDER \_\_\_\_\_



## Planning Commission Staff Report March 5, 2020

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### Item 5: Townhome Schematic (Concept) Design Plan—Farmington Station Parkway Mixed Use Development

Public Hearing:	No
Application No.:	SP-1-20
Location:	Approx. 525 North Station Parkway
General Plan Designation:	TMU (Transportation Mixed Use)
Zoning Designation:	A/GMU/OS
Area:	2.34 acres
Property Owner:	C LIMITED PARTNERSHIP
Applicant:	Taylor Spendlove/ Brighton Homes

Request: *Applicant is requesting Schematic (Concept) Design plan approval for the townhome portion of the Farmington Station Parkway mixed-use development.*

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#### **Background Information**

The Planning Commission on August 12, 2019 recommended that the City Council rezone the subject property from A to GMU and on December 12, 2019 they recommended subdivision schematic plan approval. Nevertheless, at the same Dec. 12<sup>th</sup> meeting the Commission also tabled consideration of schematic site plan review to allow time for the applicant to resolve 10 issues related to said schematic site plan, and the City Council added an 11<sup>th</sup> issue at their December 17<sup>th</sup> meeting. The following is a response (*in italics*) as to what the developer has done to date after each of the 11 issues.

1. The proposed east to west road “dead-ends” at the west boundary line of the Cook property. The first sentence of Section 12-7-040 D3 of the Subdivision Ordinance, and subparagraph b. thereto, state: “Dead end streets shall serve as access for not more than twenty four (24) dwelling units and shall not exceed one thousand feet (1,000') in length” and “Exceptions to the requirement for a second point of independent access may be granted by the city council, after receiving a recommendation from the planning commission, upon a finding that the topography or other physical conditions of the development site make it impossible to provide a second access which complies with street design standards established by the city and that an increased street length and/or density will not unreasonably impact the ability to provide emergency and other public services”.

The developer is proposing ~~60~~ 50 dwelling units on this potentially dead-end street.

*Response: the developer is setting aside an easement across the two parcels to the north to ensure a direct second point of access to Station Parkway for the townhome portion of the project. At the same time the applicant is working to achieve access "via crash gates" through the assisted living site south of the development.*

2. The proposed OS zone within the two townhome parcels, the one hotel parcel, and parcels A, B and C may not be wide enough as per the regulating plan and consistent with previous such designations by the City on other parcels in the past.

*Response: the applicant widened the proposed OS area and staff walked the site to make sure the space is wide enough to accommodate the trail and accompanying recreation purposes.*

3. The developer is proposing the OMU zone for the two hotels and GMU for the townhomes. As the parking needs increase on-site for the two hotels and the OMU area increases in size (and if the OS zone potentially increases in size as well) where will the City establish the final location of the GMU zone? Must the applicant reduce the number of townhomes on-site?

*Response: the applicant reduced the number of townhomes from 60 to 50.*

4. The SPARC (Site Plan and Architectural Review Committee) has not yet reviewed the latest schematic plans prepared by the applicant.

*Response: the SPARC reviewed the proposal on January 29, 2020.*

5. Shepard Creek traverses through the site. The existing FIRM (Flood Insurance Rate Map) designates the flood plain on the Cook Property as Flood Plain X (un-determined) because FEMA has not conducted a study on the property. An engineer, independent from FEMA, should model Shepard Creek to provide a more accurate flood plain determination. This will help identify buildable areas and/or ensure that the location of structures, including the elevation of buildings, are placed and set appropriately. In the event the study is not done, and the entire area is inundated by a flood event, FEMA will likely come in after the fact and to do a study for the entire greater area, which may place many properties unduly within the flood plain.

And

6. Because of the proximity of Shepard Creek, as per an interlocal agreement between the City and County, a flood control permit is required as part of the process. The creek at this location has little or no banks. Preliminary input from the County may prove invaluable at this stage of site plan review.

*Response: The City Engineer commented that the applicant must satisfy flood plain and flood control permit issues, but during the final plat/site plan part of the process.*

7. A dead-end exists within the townhome portion of the plan. How will snow plows, garbage trucks, etc. serve these private streets?

*Response: Interior dead-end streets greater than one lot in length have been removed from the site plan.*

8. The developer proposes to construct the buildings in such a way that they may be platted later as buildings lots. If so, will each building receive individual service laterals/meters now to avoid utility payment and maintenance conflicts later?

*Response: The project is designed to accommodate individual meters or one master meter at the discretion of the City.*

9. How will the residents of the town homes deal with garbage pick-up? If individual containers are proposed for each resident, is there space to place them “at the curb” and store them on-site, and can the trucks maneuver the site to pick up garbage? Or will the developer provide dumpsters for groups of town homes? —if so, the site plan should be updated accordingly.

*Response: The development is designed for “at the curb” pick-up.*

10. Angled parking often presents site-distance issues as motorists attempt to back their vehicles from their spaces. Can the developer, or should he, re-design the street for parallel parking?

*Response: The applicant removed angled on-street parking from the project and replaced it with parallel parking.*

11. The proposed east to west street (“River Rock Road”) must be realigned to the north to better ensure more developable property (on the south side of the road) on property to the west of the Cook property.

*Response: The existing proposed site plan set forth in this staff report incorporates this realignment.*

**Suggested Motion:**

Move that the Planning Commission approve the schematic (concept) site plan for the townhome portion of the Farmington Station Parkway mixed-use development subject to all applicable Farmington City Development standards and ordinances and the following:

1. The applicant must obtain preliminary plat and final plat approval for the Farmington Station Parkway subdivision.
2. The preliminary plat and final plat (and improvement drawings) must show and accommodate future stormwater detention needs for the entire project area.
3. The developer must loop water lines through the entire project, including the OMU areas, acceptable to the City.

4. Access easements acceptable to the City shall be shown on the preliminary and final plats for the project.
5. The applicant shall provide flood plain and flood control (permit from County) acceptable to the City Engineer prior to final plat approval.
6. Zone designations must change as per the approval of the City Council.

**Findings**

1. The motion is consistent with the previous recommendation/approvals (including findings) regarding the proposed rezone of the property and the subdivision schematic plan recommendations by the Planning Commission.
2. Section 12-7-040 D of the City's Subdivision Ordinance states in part, "Street patterns in the subdivision shall be in conformity with a master street plan for the most advantageous development of adjoining areas and the entire neighborhood or district". The development now accomplishes this.

**Supplemental Information**

1. Vicinity Map
2. Schematic Site Plan in context with the overall plan for the project, other parts of which have not been approved.

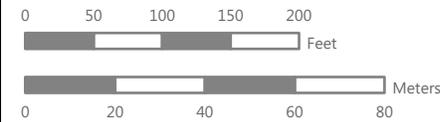
**Applicable Ordinances**

1. Title 11, Chapter 18 – Mixed Use District

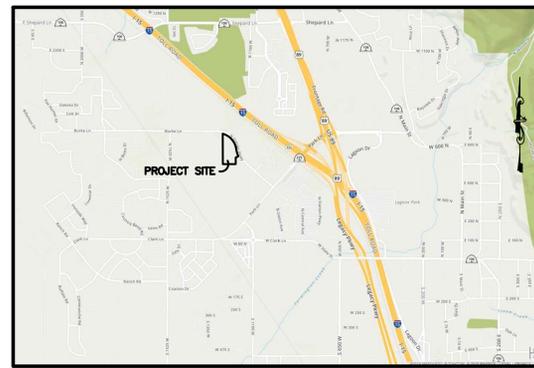


# VICINITY MAP

## Farmington Station Pkwy Townhome Concept



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



**VICINITY MAP**  
SCALE: NONE

**SITE DATA**

**PHASE 1**

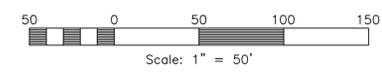
TOTAL AREA	2.34 AC.
TOWNHOMES	0.75 AC. (32.1%)
HARDSCAPE	0.37 AC. (15.8%)
ROADWAY	0.48 AC. (20.5%)
OPENSAPCE	0.74 AC. (31.6%)

**PHASE 2**

TOTAL AREA	1.86 AC.
BUILDING FOOT PRINT	0.36 AC. (19.3%)
HARDSCAPE	0.20 AC. (10.8%)
ROADWAY	1.00 AC. (53.8%)
OPENSAPCE	0.30 AC. (16.1%)

**PHASE 3**

TOTAL AREA	2.16 AC.
BUILDING FOOT PRINT	0.24 AC. (11.1%)
HARDSCAPE	0.24 AC. (11.1%)
ROADWAY	0.68 AC. (31.5%)
OPENSAPCE	1.00 AC. (46.3%)



**UTILITY NOTES**

1) ALL CONSTRUCTION IS TO CONFORM TO THE STANDARD DRAWINGS AND SPECIFICATIONS OF FARMINGTON CITY.

**CULINARY WATER**  
W/8 - 8" PVC DR-18 C900 WATER LINE  
W LATERAL - 3/4" COPPER

**SANITARY SEWER**  
SEWER - 8" PVC LINE  
SS LATERAL - 1.25" PVC

**STORM DRAIN**  
SD - RCP STORM DRAIN  
(SIZES WILL BE DETERMINED AT FINAL DESIGN)

**SITE INFORMATION**

PARCEL #: 08-486-0118  
APPROX. LOCATION: STATION PARKWAY AND BURKE LANE (675 NORTH) FARMINGTON CITY, DAVIS COUNTY, UTAH

TOTAL PARCEL AREA.....8.406 ACRES  
PROPERTY ZONE.....A  
TOTAL # OF UNITS.....105 Residential  
TOTAL # OF COMMERCIAL.....2 BLDGS.

TOTAL PARKING.....310 STALLS  
BUILDING 1.....105 STALLS  
BUILDING 2.....91 STALLS  
RESIDENTIAL.....100 STALLS  
ON-STREET.....14 STALLS

**PHASING INFORMATION**

PHASE	TYPE	TOTAL ACRES	PROPOSED ZONE
1	TOWNHOMES	2.34	GMU
2	COMMERCIAL BLDG.	1.86	OMU
3	COMMERCIAL BLDG.	2.16	OMU
	REMAINDER PARCEL A	1.05	OMU
	REMAINDER PARCEL B	0.37	OMU
	ROAD DEDICATION	0.63	
	CREEK OPEN SPACE		OS

- NOTES**
- CULINARY WATER WILL CONNECT TO THE EXISTING 10" LINE IN STATION PARKWAY.
  - SANITARY WILL CONNECT TO THE EXISTING CENTRAL DAVIS SEWER DISTRICT GRAVITY LINE IN STATION PARKWAY.
  - STORM WATER WILL BE DETAINED ON SITE AND WILL OUTLET INTO THE EXISTING STORM DRAIN IN STATION PARKWAY.
  - FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 49011C0381E DATED JUNE 18, 2007.
  - PROPERTY IS CURRENTLY UNDEVELOPED GROUND.
  - CONTOURS ARE SHOWN IN ONE FOOT INTERVALS.
  - 8' PATHWAYS WILL BE PUBLIC
  - ZONE OS WILL BE AN ACCESS EASEMENT
  - REMAINDER PARCEL 'B' WILL BE DEEDED TO THE NEIGHBORING OWNER.
  - PHASE WILL NOT BE DIVIDED INTO INDIVIDUAL LOTS AND WILL HAVE ONE COMMON OWNER.
  - THE HOTEL DEVELOPER IS WORKING WITH THE CITY STAFF ON APPROVAL OF HOTEL SITE PLAN DESIGN. (PARKING AND SETBACK REQUIREMENTS)
  - THE PUBLIC ROADWAY IS TO BE DEDICATED AND CONSTRUCTED TO THE EAST EDGE OF THE CREEK. THE EXTENSION WILL BE CONSTRUCTED WHEN THE CONNECTION IS REQUIRED FOR FUTURE DEVELOPMENT.

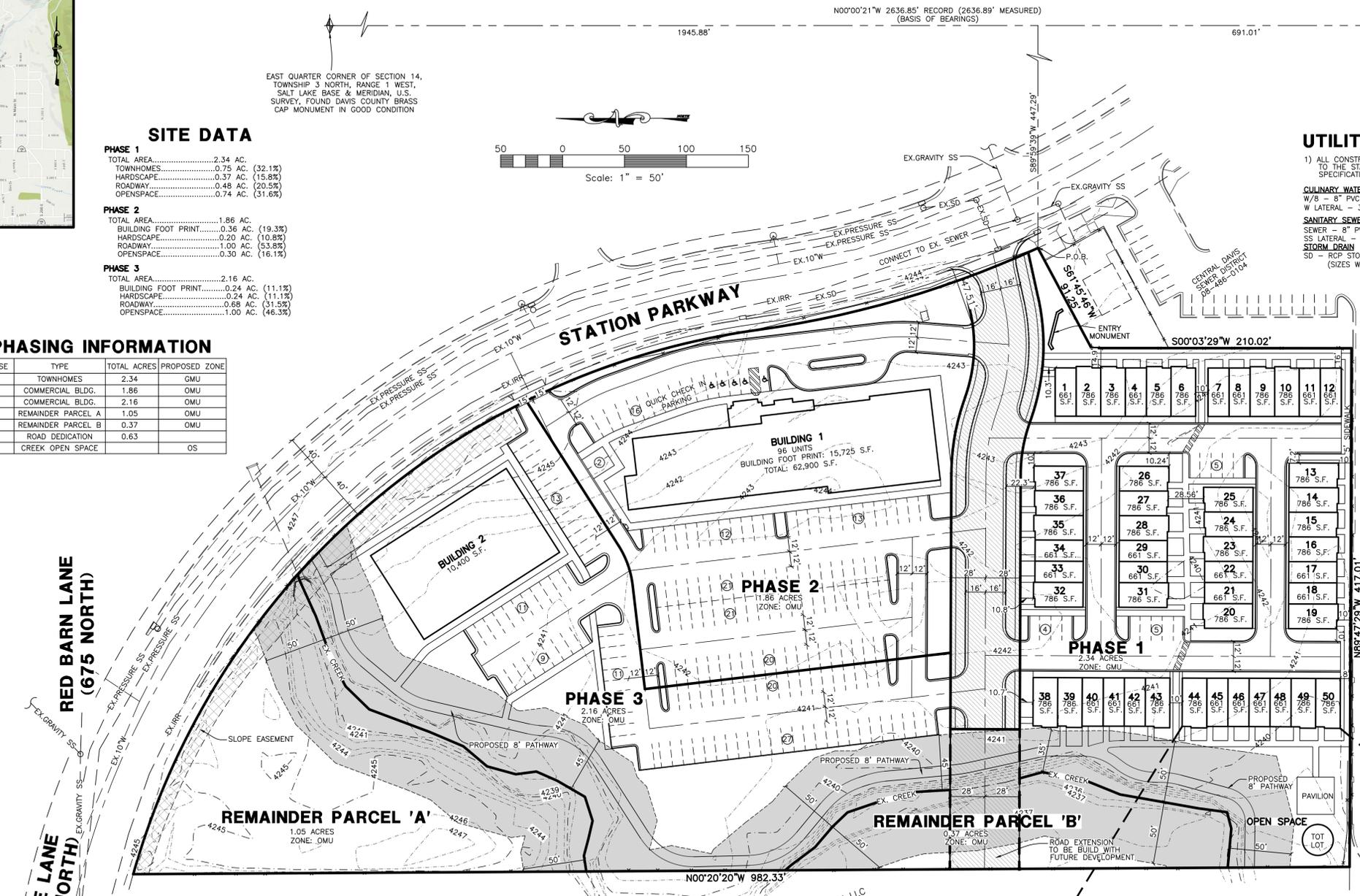
**LEGEND**

- SECTION CORNER
- BOUNDARY LINE
- PUBLIC RIGHT-OF-WAY LINE
- ADJOINING PROPERTY
- EASEMENTS
- SECTION TIE LINE
- EX.SS - EXISTING SANITARY SEWER LINE
- EX.IRR - EXISTING IRRIGATION WATER LINE
- EX.W - EXISTING CULINARY WATER LINE
- EX.SD - EXISTING STORM DRAIN
- EXISTING FENCE LINE
- EXISTING FIRE HYDRANT
- EXISTING MANHOLE
- EXISTING STORM CATCH BASIN
- EXISTING STRUCTURE
- SLOPE EASEMENT
- ZONE OS (OPEN SPACE)
- PUBLIC ROAD DEDICATION (0.63 ACRES)

**BOUNDARY DESCRIPTION**

PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY RIGHT OF WAY LINE OF STATION PARKWAY, SAID POINT BEING N00°00'21"W 691.01 FEET AND S89°59'39"W 447.29 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 14; THENCE S61°45'46"W ALONG THE NORTHERLY LINE OF PARCEL 08-486-0104, 91.25 FEET TO THE NORTHWEST CORNER OF SAID PARCEL; THENCE S00°03'29"W ALONG THE WESTERLY LINE OF SAID PARCEL AND THE NORTHERLY LINE OF LOT 303 OF PARK LANE COMMONS - PHASE 3, 210.02 FEET; THENCE N89°47'29"W ALONG THE NORTHERLY LINE OF LOT 303 OF PARK LANE COMMONS - PHASE 3, 417.01 FEET; THENCE N00°20'20"W ALONG AN EXISTING FENCE, 982.33 FEET TO THE WESTERLY RIGHT OF WAY LINE OF STATION PARKWAY; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES: (1) ALONG A NON-TANGENT CURVE TURNING TO THE RIGHT WITH A RADIUS OF 610.00 FEET, AN ARC LENGTH OF 633.29 FEET, A DELTA ANGLE OF 59°29'00", A CHORD BEARING OF S44°23'20"E, AND A CHORD LENGTH OF 605.23 FEET; (2) ALONG A COMPOUND CURVE TURNING TO THE RIGHT WITH A RADIUS OF 611.07 FEET, AN ARC LENGTH OF 73.34 FEET, A DELTA ANGLE OF 06°52'37", A CHORD BEARING OF S11°11'52"E, AND A CHORD LENGTH OF 73.30 FEET; AND (3) ALONG A REVERSE CURVE TURNING TO THE LEFT WITH A RADIUS OF 810.00 FEET, AN ARC LENGTH OF 236.45 FEET, A DELTA ANGLE OF 16°43'31", A CHORD BEARING OF S16°13'13"E, AND A CHORD LENGTH OF 235.61 FEET TO THE POINT OF BEGINNING. CONTAINING 366,157 SQUARE FEET OR 8.406 ACRES MORE OR LESS



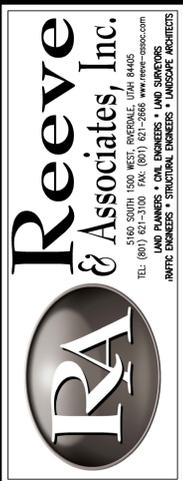
**BUILDING 1 ELEVATION**



**TYPICAL TOWNHOME ELEVATION**

# Farmington Station Parkway

Farmington City, Davis County, Utah



REVISIONS

NO.	DATE	DESCRIPTION

**Farmington Station Parkway**  
PART OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, U.S. SURVEY  
FARMINGTON CITY, DAVIS COUNTY, UTAH

**Schematic Plan**

**Project Info.**  
Engineer: N. Reeve  
Designer: C. Gave  
Begin Date: 10-22-19  
Name: FARMINGTON STATION PARKWAY  
Number: 6440-16

**Developer:**  
Brighton Homes  
Taylor Spendlove  
215 North Redwood Rd., Suite 8  
North Salt Lake, Ut. 84054  
801-397-9755