



HISTORIC BEGINNINGS • 1847

Farmington City Planning Commission

November 17, 2016



AGENDA
PLANNING COMMISSION MEETING
November 17, 2016

Public Meeting at the Farmington City Hall, 160 S. Main Street, Farmington, Utah

Study Session: 6:30 p.m. – Conference Room 3 (2nd Floor)

Regular Session: 7:00 p.m. – City Council Chambers (2nd Floor)

(Please note: In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 3 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these limits should be submitted in writing to the Planning Department prior to noon the day before the meeting.)

1. Minutes
2. City Council Report

SUBDIVISION

3. Nick Mingo / Ivory Homes – Applicant is requesting final plat approval for the Silver Hollow Conservation Subdivision consisting of 11 lots on 5 acres of property located at approximately 1600 West Jeppson Way (1550 North) in an LR (Large Residential) zone. (S-7-16)
4. Jerry Preston / Elite Craft Homes (Public Hearing) – Applicant is requesting a recommendation for schematic plan and preliminary PUD master plan approval for the Dorene Smith PUD Subdivision consisting of 3 lots on .84 acres of property located at 244 East 100 North in an OTR-F (Original Townsite Residential – Foothill) zone. (S-17-16)

GENERAL PLAN AMENDMENT

5. Jonathan Hughes and Chase Freebairn / Ivory Homes – Applicants are requesting a recommendation for General Land Use Plan Amendment of 31.79 acres of property located at approximately 600 South 1525 West from DR (Development Restricted, Very Low Density, and/or Agriculture Open Space) to RRD (Rural Residential Density) designation. (Z-2-16)

OTHER

6. Miscellaneous, correspondence, etc.
 - a. Street-Cross Section Modification – Symphony Homes – Rock Creek Subdivision
 - b. Other
7. Motion to Adjourn

Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to take action on the item; OR 2. if the Planning Commission feels there

are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.

Posted November 8, 2016

Eric Anderson
City Planner

**FARMINGTON CITY
PLANNING COMMISSION MEETING
November 3, 2016**

STUDY SESSION

***Present:** Chair Rebecca Wayment, Commissioners Heather Barnum, Connie Deianni, Kent Hinckley, Alex Leeman, and Dan Rogers, Community Development Director David Petersen, Associate City Planner Eric Anderson, and Recording Secretary Lara Johnson. Commissioner Bret Gallacher were excused.*

Rebecca Wayment called for a motion to go into closed session.

Motion:

At 6:35 p.m., **Heather Barnum** made a motion to go into a closed meeting for purpose of pending litigation. **Connie Deianni** seconded the motion, which was unanimously approved.

Sworn Statement

I, **Rebecca Wayment**, Chair of Farmington City Planning Commission, do hereby affirm that the items discussed in the closed meeting were as stated in the motion to go into closed session and that no other business was conducted while the Council was so convened in a closed meeting.

Rebecca Wayment, Chair

Motion:

At 6:59 p.m., **Heather Barnum** made a motion to reconvene into an open meeting. **Dan Rogers** seconded the motion, which was unanimously approved.

REGULAR SESSION

***Present:** Chair Rebecca Wayment, Commissioners Heather Barnum, Connie Deianni, Kent Hinckley, Alex Leeman, and Dan Rogers, Community Development Director David Petersen, Associate City Planner Eric Anderson, and Recording Secretary Lara Johnson. Commissioner Bret Gallacher were excused.*

Item #1. Minutes

Heather Barnum made a motion to approve the Minutes from the October 20, 2016 Planning Commission meeting. **Connie Deianni** seconded the motion, which was unanimously approved.

Item #2. City Council Report

Eric Anderson gave a report from the November 1, 2016 City Council meeting. He said it was a short meeting; there were three plat amendments approved. He also said **David Petersen** gave a presentation on the Original Townsite Residential (OTR) zone. **Heather Barnum** asked if there was any feedback regarding the discussion on an amendment to the General Plan. **David Petersen** said a discussion has not yet happened.

CONDITIONAL USE PERMIT

Item #3. Mike Wagstaff / Chris McRoberts (Public Hearing) – Applicant is requesting conditional use permit approval for a residential facility for the disabled on 5.07 acres of property located at 235 South 200 East in an R-2 (Multi Family Residential) zone. (C-14-16)

Rebecca Wayment said the applicant is requesting conditional use approval to repurpose an existing home for a residential treatment facility. The purpose is to serve individuals with mental health issues and learning/cognitive disabilities.

Rebecca Wayment said the Planning Commission received the following statement from the City Attorney. He states, “Concerns have been raised regarding the compliance of our ordinances with the current federal law and it has been recommended that we continue this item to allow the City’s legal counsel the opportunity to review our ordinances to assure that the applicant is being treated fairly in the consideration of this application.”

Rebecca Wayment asked for a motion to table this item.

Motion:

Dan Rogers made a motion that the Planning Commission tabled the item. **Alex Leeman** seconded the motion, which was unanimously approved.

David Petersen clarified what the Planning Commission moved on. He said the item was tabled as federal law dictates the requirements for a use such as what is being presented. The City wants to ensure local standards comply with federal law.

David Petersen said some emails were received regarding the way Farmington City notices public hearings. Some residents expressed concerns that the public hearings were not noticed correctly; however, that is not factual. **David Petersen** said the City follows state law for public notices for public meetings and hearings. The City sends letters to property owners within 300’ from a given site. Also, the item is posted in at least three locations throughout the City, on the City’s website and on the State’s website. Additionally, the City places a sandwich board with a letter of the notice on the property being discussed, which is not required, but the City chooses to do. **David Petersen** said most cities do mailings or post a sign, not both like Farmington. He also pointed out that the radius of mailings is increased to 500’ for site plan applications. **David Petersen** said state law requires these notices be posted at least 72 hours in advance; however, Farmington City typically notices a public hearing 5-7 days in advance. **David Petersen** said the City makes every effort to get the word out regarding public hearings.

OTHER

Item #6. Miscellaneous: a) OTR Presentation from the APA Conference

David Petersen gave a presentation at the recent American Planning Association Conference regarding the history and creation of the OTR zone. He explained that after a lot of work from staff, the City and the residents, all came together to determine how to preserve the look and feel of old town Farmington. The creation of the OTR zone was a result as it protects the historic characteristics, including the trees, of the old town area.

ADJOURNMENT

Motion:

At 8:09 p.m., **Heather Barnum** made a motion to adjourn the meeting, which was unanimously approved.

Rebecca Wayment
Chair, Farmington City Planning Commission

WORK SESSION: A work session will be held at 6:00 p.m. in Conference Room #3, Second Floor, of the Farmington City Hall, 160 South Main Street. The work session will be to give an update on the Special Assessment Area (SAA) and to answer any questions the City Council may have on agenda items. The public is welcome to attend.

FARMINGTON CITY COUNCIL MEETING NOTICE AND AGENDA

Notice is hereby given that the City Council of **Farmington City** will hold a regular City Council meeting on **Tuesday, November 15, 2016, at 7:00 p.m.** The meeting will be held at the Farmington City Hall, 160 South Main Street, Farmington, Utah.

Meetings of the City Council of Farmington City may be conducted via electronic means pursuant to Utah Code Ann. § 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.

The agenda for the meeting shall be as follows:

CALL TO ORDER:

7:00 Roll Call (Opening Comments/Invocation) Pledge of Allegiance

NEW BUSINESS:

7:05 Construction Options for 650 West Street Improvement Project

7:45 Street Cross Section Approval for the 650 West Street Improvement Project

8:30 Design Engineer for the 650 West Street Improvement Project

SUMMARY ACTION:

8:35 Minute Motion Approving Summary Action List

1. Resolution and Agreement with Davis Metro Narcotics Task Force

GOVERNING BODY REPORTS:

8:40 City Manager Report

1. Police Monthly Activity Report for October

8:45 City Council Committee Reports

9:00 Mayor Talbot & City Council Reports

ADJOURN

CLOSED SESSION

Minute motion adjourning to closed session, if necessary, for reasons permitted by law.

DATED this 10th day of November, 2016.

FARMINGTON CITY CORPORATION

By: _____
Holly Gadd, City Recorder

***PLEASE NOTE:** Times listed for each agenda item are estimates only and should not be construed to be binding on the City Council.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting, should notify Holly Gadd, City Recorder, 451-2383 x 205, at least 24 hours prior to the meeting.



Planning Commission Staff Report November 17, 2016

Item 3: Final Plat for the Silver Hollow Conservation Subdivision

Public Hearing:	No
Application No.:	S-7-16
Property Address:	1505 North 1500 West
General Plan Designation:	LDR (Low Density Residential) and "PPR" (Public/Private Recreation Open Space and/or Parks Very Low Density)
Zoning Designation:	LR – Large Residential
Area:	5.0 Acres
Number of Lots:	11
Property Owner:	Ivory Development
Applicant:	Nick Mingo – Ivory Development

Request: *Applicant is requesting a recommendation for final plat approval for the proposed Silver Hollow Conservation Subdivision.*

Background Information

The Jeppson property was annexed into the city in 2013 and the Silverleaf Subdivision received final plat approval to build 9 lots on the property, not including the parcel where Jerrod Jeppson's home sits. However, sometime after final plat was approved, Jerrod decided to find another developer to complete the project, and this time, the lot with his home would be further subdivided, creating two additional lots; the existing home is proposed to be demolished. Nick Mingo and Ivory Homes is now proposing the Silver Hollow Subdivision that mirrors the approved Silverleaf Subdivision with the exception of Lots 5 and 6 which is where the existing house is; with the two additional lots, the total proposed lot count is 11. Similar to what was proposed with the Silverleaf Subdivision, the Silver Hollow Subdivision is a conservation subdivision, and the 15% open space requirement would be met through a trail easement connecting the subdivision with 1500 West along the existing private drive. This private drive currently accesses two homes and will remain as is currently built, it now has a public access easement recorded over the top of it so that people can better access 1500 West from points north and west.

Because this proposed subdivision has not deviated from the approved Silverleaf Subdivision significantly, staff felt it prudent for the applicant to begin at preliminary plat. Additionally, the DRC has already reviewed and vetted the Silverleaf Subdivision plat and improvement drawings related thereto, so there weren't many issues that arose that hadn't already been addressed as part of the original review. One thing that this application addressed that the previous application did not, was the moving

of a Central Davis Sewer trunk-line on the west end of the property along George Clark's property; this allows for better access by Central Davis and a subsequent sewer easement with manhole accesses accounted for through the design; however, there are some details with those sewer manholes that must be addressed.

Another change from the last submission is that the eastern boundary line has been moved from their current alignment; this could not be done without a plat amendment of Oakridge Farms Subdivision occurring first, which was approved by the City Council on August 2, 2016.

Davis County Flood Control previously required that all storm water be detained in a detention basin on the eastside of the property before discharging into Haight Creek. The City Engineer and public works staff expressed a desire that the project be allowed to discharge directly into Haight Creek, because maintaining the detention basin, the associated storm drain line and easement, and the manholes will be difficult because of the slope of the site. However, the applicant proposed a solution to have an oversized storm water pipe in the street to handle all of their needs; this solution has been accepted and approved by the City Engineer.

At the June 9th Planning Commission, Ivory Homes presented preliminary plat for the proposed Silver Hollow Conservation Subdivision (the Jerrod Jeppson property). The Planning Commission voted to table review of the preliminary plat to give staff and the applicant the necessary time to determine the ownership of the private drive/proposed trail, and whether a waiver or TDR may be preferable instead of the trail (as part of the applicant's 15% open space requirement). There was concern expressed by the Commission that having a pedestrian access on a private drive could create conflicts in use. Beyond that, the commissioners were comfortable with the proposal. Staff did review the ownership details of the property in question and the related public access easement; the trail easement (in favor of Farmington City) was recorded on May 8, 2016 and the property was deeded over to Jeff Jeppson and the Rumseys shortly thereafter. Ultimately, the public access easement was determined to count towards the 15% open space requirement.

Suggested Motion:

Move that the Planning Commission approve the final plat of the Silver Hollow Conservation Subdivision as shown, subject to all applicable Farmington City ordinances and development standards and the following conditions:

1. The applicant shall provide the 15% through a public access (trail) easement, and that public access easement shall be shown on the recorded plat;
2. The applicant shall satisfy the requirements of Central Davis Sewer, including the dedication of easements, design of manholes, and relocation of the sewer trunk-line prior to recordation;
3. Public improvement drawings, including but not limited to, a grading and drainage plan, shall be reviewed and approved by the Farmington City Works, City Engineer, Storm Water Official, Fire Department, Central Davis Sewer District and Benchland Water.

Findings:

1. The LDR (Low Density Residential) designation of the General Plan allows up to 4 dwelling units/acre. The proposed subdivision is at approximately 3 dwelling units per acre and is consistent with the General Plan threshold.

2. The project is consistent with the Conservation Subdivision standards for an LR zone.
3. The applicant has worked through the issues raised by the DRC with the original Silverleaf Subdivision.
4. An open space requirement is being met through a trail easement that connects the Silverwood Subdivisions and southern Kaysville with 1500 West; currently, those residents have to walk out of the way to the Frontage Road to get to 1500 West, which is an important connection to points north and east.

Supplemental Information

1. Vicinity Map
2. Final Plat
3. Silverleaf Plat – Approved 2013

Applicable Ordinances

1. Title 12, Chapter 6 – Major Subdivisions
2. Title 11, Chapter 11 – Single Family Residential
3. Title 11, Chapter 12 – Conservation Subdivision Development Standards

Farmington City



SILVER HOLLOW SUBDIVISION

LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 11, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
FARMINGTON CITY

SURVEYOR'S CERTIFICATE

I, BRYAN YATES, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 8589857 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS:

SILVER HOLLOW SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.



GRAPHIC SCALE



AS SURVEYED LEGAL DESCRIPTION

COMMENCING AT THE CENTER OF SECTION 11 BEING A FOUND 3" DAVIS COUNTY BRASS CAP IN CONCRETE; THENCE ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) NORTH 89°43'09" WEST 1128.50 FEET; THENCE DEPARTING SAID NORTH LINE SOUTH 1023.13 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN PLAT MAP TITLED "SILVERWOOD SUBDIVISION"; RECORDED AS PLAT 4409, ON FILE AT THE DAVIS COUNTY RECORDER'S OFFICE; SAID NORTHEAST CORNER BEING A FOUND REBAR AND CAP STAMPED "BYRD"; SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE EAST 292.01 FEET TO A POINT ON THE WEST LINE OF PARCEL 08-033-0072 AS DEFINED IN THAT CERTAIN WARRANTY DEED, RECORDED NOVEMBER 13, 1992, AS ENTRY 1002180, BOOK 1554 AT PAGE 491, ON FILE AT THE DAVIS COUNTY, UTAH RECORDER'S OFFICE; THENCE ALONG SAID WEST LINE SOUTH 01°02'17" EAST 279.44 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 08-033-0072; THENCE ALONG THE SOUTH LINE OF SAID PARCEL SOUTH 88°26'00" EAST 23.17 FEET; THENCE DEPARTING SAID SOUTH LINE SOUTH 158.84 FEET; THENCE SOUTH 61°09'14" EAST 251.76 FEET TO THE SUBDIVISION LINE OF THAT CERTAIN PLAT MAP TITLED "OAKRIDGE FARMS"; RECORDED AS PLAT 1133, ON FILE AT THE DAVIS COUNTY RECORDER'S OFFICE; THENCE THE NEXT TWO (2) CALLS ALONG SAID SUBDIVISION LINE; 1) SOUTH 21°50'00" WEST 108.55 FEET; 2) WEST 139.00 FEET; THENCE DEPARTING SAID SUBDIVISION LINE NORTH 46°34'06" WEST 38.95 FEET TO THE BEGINNING OF A NON-TANGENT CURVE; THENCE NORTHWESTERLY TO AND ALONG THE CENTERLINE OF AN EXISTING CREEK 64.73 FEET ALONG SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 163.42 FEET (RADIUS BEARS NORTH 15°46'12" EAST) WITH A CENTRAL ANGLE OF 22°41'36"; CHORD BEARS NORTH 62°53'00" WEST 64.30 FEET; THENCE THE NEXT FIVE (5) CALLS ALONG THE CENTERLINE OF SAID EXISTING CREEK; 1) NORTH 7°07'52" WEST 34.75 FEET; 2) SOUTH 85°21'55" WEST 25.70 FEET; 3) SOUTH 47°58'36" WEST 37.11 FEET; 4) SOUTH 23°03'37" WEST 28.09 FEET; 5) SOUTH 38°26'50" WEST 19.33 FEET TO A POINT ON THE SUBDIVISION LINE OF SAID OAKRIDGE FARMS; THENCE ALONG SAID SUBDIVISION LINE WEST 113.30 FEET; THENCE DEPARTING SAID SUBDIVISION LINE NORTH 229.09 FEET; THENCE SOUTH 71°28'00" WEST 56.27 FEET TO THE SUBDIVISION LINE OF THAT CERTAIN PLAT MAP TITLED "SILVERWOOD SUBDIVISION"; RECORDED AS PLAT 4409, ON FILE AT THE DAVIS COUNTY RECORDER'S OFFICE; THENCE ALONG SAID SUBDIVISION LINE NORTH 00°02'28" WEST 449.89 FEET TO THE POINT OF BEGINNING.

CONTAINS 217,982 SQUARE FEET OR 5.004 ACRES.

BASIS OF BEARING

SOUTH 00°04'40" WEST, BEING THE BEARING OF THE EAST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 11, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN.

OWNER'S DEDICATION

KNOW THAT ALL PEOPLE BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS:

SILVER HOLLOW SUBDIVISION

DO HEREBY GRANT UNTO EACH PRIVATE UTILITY COMPANY AND PUBLIC UTILITY AGENCY PROVIDING UTILITY SERVICES TO THIS PROJECT, A PERPETUAL NON-EXCLUSIVE EASEMENT IN ALL AREAS SHOWN HEREON TO INSTALL, USE, KEEP, MAINTAIN, REPAIR AND REPLACE, AS REQUIRED, UNDERGROUND UTILITY LINES, PIPES AND CONDUITS OF ALL TYPES AND APPURTENANCES THERETO SERVING THIS PROJECT. ALSO DO HEREBY GRANT A PERPETUAL RIGHT-OF-WAY AND EASEMENT FOR SANITARY SEWER TO THE CENTRAL DAVIS SEWER DISTRICT AS SHOWN HEREON. ALSO DO HEREBY GRANT A PERPETUAL RIGHT-OF-WAY AND EASEMENT FOR A PUBLIC TRAIL TO FARMINGTON CITY AS SHOWN HEREON.

OWNER:

BY: NAME: CHRISTOPHER P. GAMVROULAS
TITLE: PRESIDENT OF IVORY DEVELOPMENT
FOR: IVORY DEVELOPMENT, LLC

LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

ON THE _____ DAY OF _____ A.D., 2016, CHRISTOPHER P. GAMVROULAS PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN THE STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE PRESIDENT OF IVORY DEVELOPMENT, LLC, AND THAT HE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC
RESIDING IN _____ COUNTY

LEGEND

	MAP BOUNDARY LINE
	LOT LINE
	STREET CENTERLINE
	TIE LINE
	RADIAL LINE
	ADJOINING PROPERTY LINE
	RIGHT-OF-WAY
	SECTION LINE
	EXISTING EASEMENT LINE TO REMAIN
	22.00' WIDE SANITARY SEWER AND BENCHLAND WATER DISTRICT EASEMENT HEREBY GRANTED
	15.00' WIDE SANITARY SEWER AND PUBLIC TRAIL EASEMENT HEREBY GRANTED
	SANITARY SEWER EASEMENT HEREBY GRANTED
	FOUND SECTION MONUMENT AS SHOWN AND DESCRIBED
	SET REBAR AND CAP STAMPED "REDCON" UNLESS OTHERWISE NOTED
	FOUND STREET MONUMENT
	CALCULATED POSITION NOTHING FOUND/SET RECORD CALL

PLAT NOTES

- A SOILS REPORT PREPARED BY GEOSTRATA, JOB NO. 840-005 HAS BEEN PREPARED AND SUBMITTED TO THE CITY.
- NO FENCE SHALL BE CONSTRUCTED ON THE COMMON LOT LINE BETWEEN LOT 8 AND LOT 9. A PUBLIC GATE MAY BE CONSTRUCTED ON THE EAST LINE OF LOT 8.

BENCHLAND WATER DISTRICT

APPROVED THIS _____ DAY OF _____ 2016,
BY BENCHLAND WATER DISTRICT.

BENCHLAND WATER DISTRICT

CENTRAL DAVIS SEWER DISTRICT APPROVAL

APPROVED THIS _____ DAY OF _____ 2016,
BY CENTRAL DAVIS SEWER DISTRICT.

CENTRAL DAVIS SEWER DISTRICT

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____ 2016,
BY THE FARMINGTON CITY PLANNING COMMISSION.

FARMINGTON CITY PLANNING COMMISSION

CITY ATTORNEY APPROVAL

APPROVED AS TO FORM THIS _____ DAY OF _____ 2016.

FARMINGTON CITY ATTORNEY

CITY ENGINEER APPROVAL

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT AND IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

CITY ENGINEER DATE

CITY COUNCIL APPROVAL

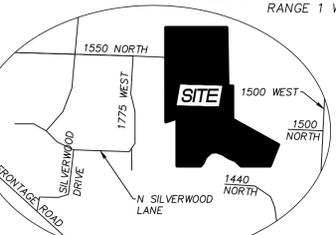
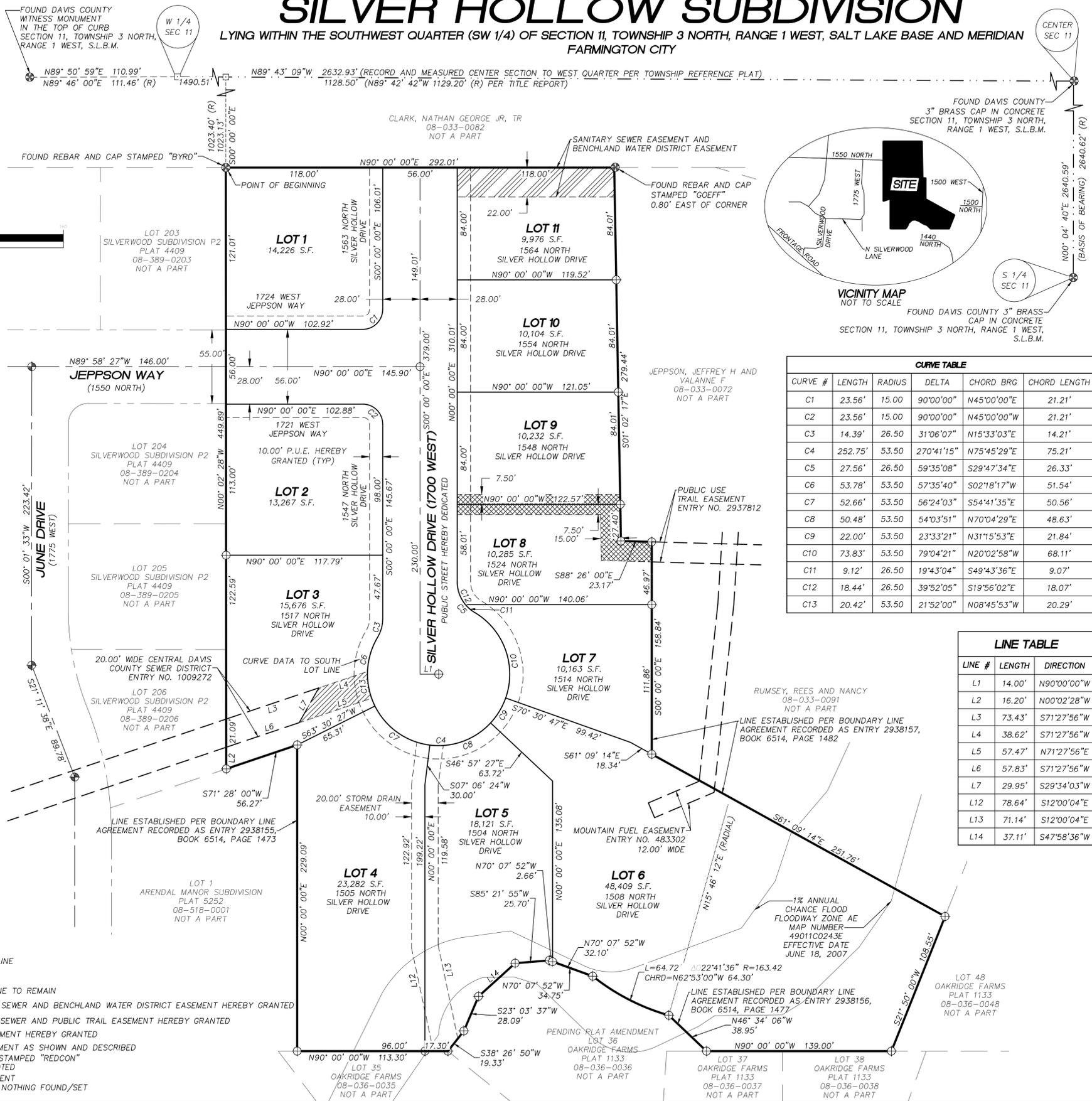
APPROVED THIS _____ DAY OF _____ 2016, BY THE FARMINGTON CITY COUNCIL.

ATTEST: CITY RECORDER MAYOR

DAVIS COUNTY RECORDER

ENTRY NO. _____ FEE PAID _____
FILED FOR RECORD AND RECORDED THIS _____ DAY OF _____ 2016,
AT _____, IN BOOK _____ OF OFFICIAL RECORDS PAGE _____

DAVIS COUNTY RECORDER
BY: DEPUTY RECORDER



CURVE #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD LENGTH
C1	23.56'	15.00'	90°00'00"	N45°00'00"E	21.21'
C2	23.56'	15.00'	90°00'00"	N45°00'00"W	21.21'
C3	14.39'	26.50'	31°06'07"	N15°33'03"E	14.21'
C4	252.75'	53.50'	270°41'15"	N75°45'29"E	75.21'
C5	27.56'	26.50'	59°35'08"	S29°47'34"E	26.33'
C6	53.78'	53.50'	57°35'40"	S02°18'17"W	51.54'
C7	52.66'	53.50'	56°24'03"	S54°41'35"E	50.56'
C8	50.48'	53.50'	54°03'51"	N70°04'29"E	48.63'
C9	22.00'	53.50'	23°33'21"	N31°15'53"E	21.84'
C10	73.83'	53.50'	79°04'21"	N20°02'58"W	68.11'
C11	9.12'	26.50'	19°43'04"	S49°43'36"E	9.07'
C12	18.44'	26.50'	39°52'05"	S19°56'02"E	18.07'
C13	20.42'	53.50'	21°52'00"	N08°45'53"W	20.29'

LINE #	LENGTH	DIRECTION
L1	14.00'	N90°00'00"W
L2	16.20'	N00°02'28"W
L3	73.43'	S71°27'56"W
L4	38.62'	S71°27'56"W
L5	57.47'	N71°27'56"E
L6	57.83'	S71°27'56"W
L7	29.95'	S29°34'03"W
L12	78.64'	S12°00'04"E
L13	71.14'	S12°00'04"E
L14	37.11'	S47°58'36"W

SCALE (H): 1" = 40'

DRAWN BY: B. YATES

CHECKED BY:

TAX ID NO.

SILVER HOLLOW SUBDIVISION
LYING WITHIN THE (SW 1/4) OF SECTION 11
TOWNSHIP 3 NORTH, RANGE 1 WEST, S.L.B.M.

REDCON, INC.
LAND SURVEYORS
150 NORTH MAIN STREET, SUITE 101
BOUNTIFUL, UTAH 84010
(801) 298-2401 FAX (801) 298-2024
REDCON.COM

JOB NUMBER 415000-32
DWG: 415000-32 PL
DATE: 9/23/2016
SHEET 1 OF 1

SILVERLEAF SUBDIVISION A CONSERVATION SUBDIVISION A PART OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 3 NORTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN FARMINGTON CITY, DAVIS COUNTY, UTAH

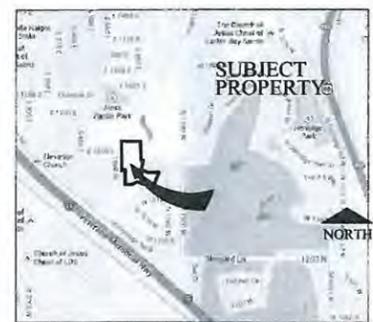
DEVELOPER
NORM DAHLE
MCD-3 LLC
PO BOX 17941
SALT LAKE CITY, UT 84117
PH: 801-608-5119

LINE TABLE

LINE	BEARING	LENGTH
L1	N 89°58'27" W	10.43
L2	WEST	20.00
L3	N 03°21'21" W	27.09
L4	N 03°39'43" E	40.05
L5	N 38°17'48" E	15.63
L6	S 71°07'54" E	23.17

NOTES:
1. ZONING IS PROPOSED TO BE CHANGED TO RESIDENTIAL IN A CONSERVATION SUBDIVISION.
2. FLOOD ZONE INFORMATION IS FROM MAP NUMBER 4901LC0243E.

VICINITY MAP

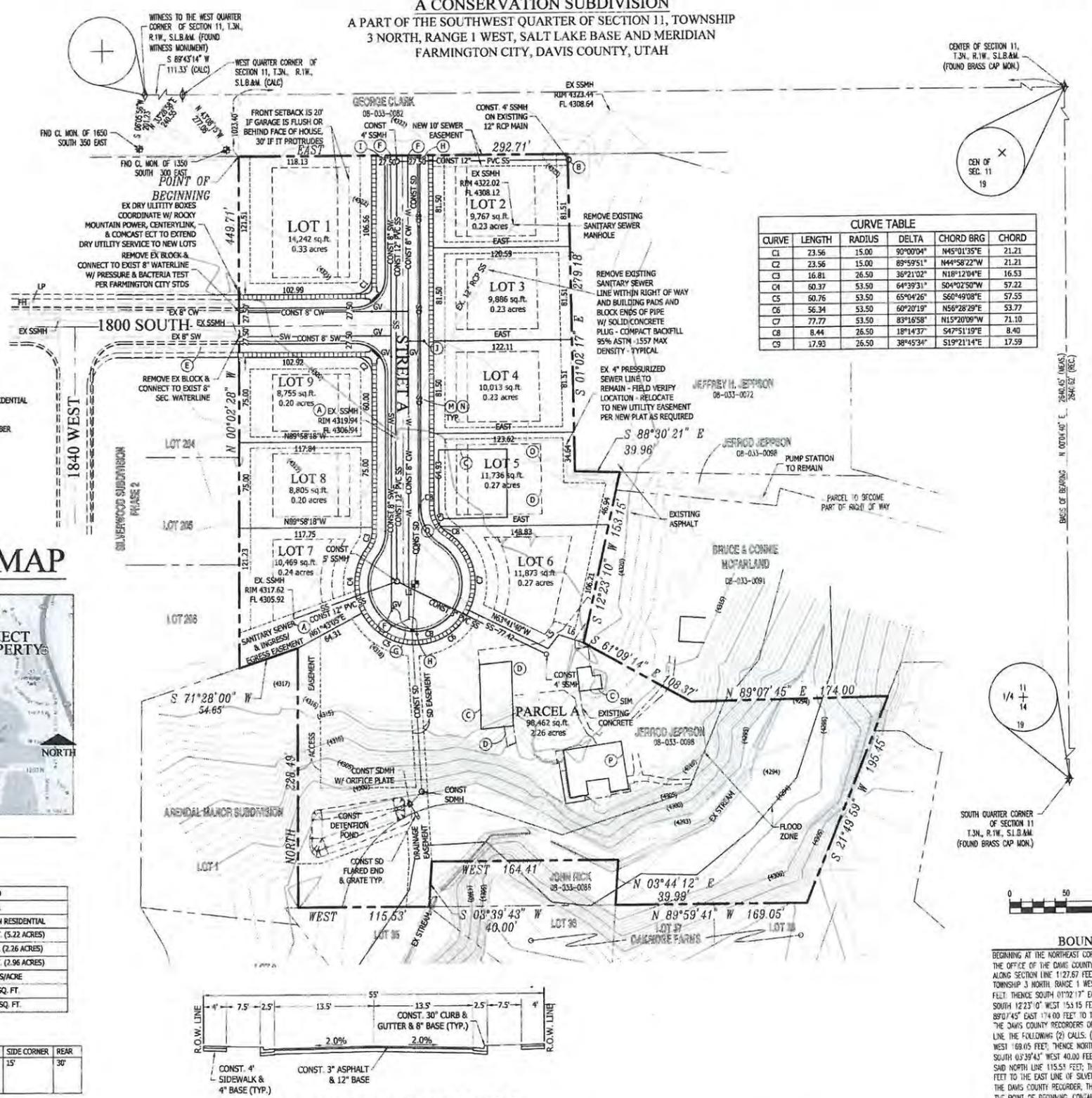


VICINITY MAP NTS

NUMBER OF LOTS	9
PARCELS	1
ZONE	CONSERVATION RESIDENTIAL
TOTAL AREA	227,346 SQ. FT. (5.22 ACRES)
PARCEL AREA	98,462 SQ. FT. (2.26 ACRES)
LOT AREA	128,884 SQ. FT. (2.96 ACRES)
LOTS PER ACRE	3.0 LOTS/ACRE
MIN. LOT AREA	8,755 SQ. FT.
AVG. LOT AREA	10,616 SQ. FT.

SETBACKS

FRONT	SIDE	SIDE CORNER	REAR
20' OR 30', 20' IF GARAGE IS FLUSH OR BEHIND FACE, 30' IF GARAGE PROTRUDES.	10'	15'	30'



CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD
C1	23.56	15.00	90°00'04"	N45°01'35"E	21.21
C2	23.56	15.00	89°59'51"	N44°58'22"W	21.21
C3	16.81	26.50	38°21'02"	N18°12'04"E	16.53
C4	60.37	53.50	64°39'31"	S04°02'50"W	57.22
C5	60.37	53.50	65°04'26"	S6°49'08"E	57.55
C6	56.34	53.50	60°20'19"	N56°28'29"E	53.77
C7	77.77	53.50	83°16'58"	N15°20'09"W	71.10
C8	8.44	26.50	18°14'37"	S47°51'19"E	8.40
C9	17.93	26.50	38°45'34"	S19°21'14"E	17.39

KEYED NOTES

- (A) CORE NEW SEWER LINE(S) INTO EXISTING SEWER MANHOLE BASE. CHIP BASE DOWN & REPAIR SMOOTH CONTOURED FLOW LINES PER FARMINGTON CITY REQUIREMENTS. GROUT PREVIOUS OPENINGS CLOSED W/ CONCRETE.
- (B) CONSTRUCT 5" SANITARY SEWER MANHOLE ON EXISTING 12" RCP MAIN LINE PER FARMINGTON CITY STANDARDS.
- (C) REMOVE EXISTING BARN AS DIRECTED BY THE OWNER. REMOVE EXISTING FLATWORK, FOOTINGS & FOUNDATIONS. BACKFILL W/ GRANULAR BORROW COMPACTED TO 95% MODIFIED PROCTOR ASTM-1557. FINISHED W/ 6" TOP SOIL MIN. FROM STREET GRUBBINGS.
- (D) REMOVE EXISTING DRIVEWAY PAVEMENT & BASE MATERIAL AS DIRECTED BY THE OWNER. STOCKPILE BASE MATERIAL FOR USE IN NEW ROADWAY. DISPOSE OF PAVEMENT MATERIAL AT LANDFILL. BACKFILL W/ GRANULAR BORROW COMPACTED TO 95% MODIFIED PROCTOR ASTM-1557. FINISHED W/ 6" TOP SOIL MIN. FROM STREET GRUBBINGS.
- (E) EX GAS LINE COORDINATE W/ QUESTAR GAS TO EXTEND DRY UTILITY SERVICE TO NEW LOTS.
- (F) CONST PLUG & BLOCK
- (G) CONST 2" SW DRAIN LINE TO CATCH BASIN
- (H) CONST 1" CW BLOWOFF
- (I) CONST TEMPORARY 1" SW BLOWOFF
- (J) CONST FIRE HYDRANT ASSEMBLY COMPLETE
- (K) CONST 1" HDPE SDR9 PW TUBING CW SERVICE LATERAL. SEE ITEM "M" FOR ADDITIONAL INFORMATION
- (L) CONST 1.5" HDPE SDR9 TUBING SW SERVICE LATERAL
- (M) CONST 3/4" HDPE SDR9 PW TUBING CW SERVICE LATERAL W/ TRACER WIRE & 3/4" WATER METER, METER SETTER, METER BOX, AND LID PER FARMINGTON CITY STANDARDS & SPECIFICATIONS
- (N) CONST 4" SDR35 PVC SANITARY SEWER LATERAL PER FARMINGTON CITY STANDARDS & SPECIFICATIONS. CONNECT TO MAIN LINE W/ PREFORMED WYE @ 10/2, 4" SPOOL, AND 45° ELBOW
- (O) REMOVE & DISPOSE OF EXISTING FENCE LINE AS DIRECTED BY THE OWNER
- (P) EXISTING HOME

Rainfall Data

Storm Duration (min.)	10 Year Intensity (in/hr)	100 Year Intensity (in/hr)
15	2.26	4.51
30	1.52	3.04
60	0.94	1.83
360	0.25	0.41
720	0.16	0.24
1440	0.10	0.14

10 Year Detention (0.2cfs per acre discharge)

Area C	3.48	Acres		
Time (min)	Intensity (in/hr)	Runoff (cfs)	Discharge	Required Storage
15	2.26	2,548	626	1,922
30	1.52	3,428	1,253	2,175 <<<
60	0.94	4,239	2,506	1,734
360	0.25	6,765	15,034	0
720	0.16	8,659	30,067	0
1440	0.10	10,824	60,134	0

Orifice Calculations

Orifice Equation $Q = C_d A (2gh)^{0.5}$

Acres	3.48
Desired Outflow	0.70 cfs
Detention Overflow Elevation	2.15 ft
Orifice Elevation	0 ft
h	2.15 ft
C _d	0.62 square shoulder orifice required
Calculated Orifice Area	13.74 in ²
Calculated Orifice Diameter	4.18 in

USE 4" DIA ORIFICE

LEGEND

- NOT ALL ITEMS IN THE LEGEND MAY BE APPLICABLE
- BOUNDARY LINE
 - STREET RIGHT-OF-WAY LINE
 - CENTERLINE
 - ADJACENT PROPERTY LINE
 - EASEMENT LINE
 - NEW STORM DRAIN
 - NEW SANITARY SEWER
 - NEW CULINARY WATERLINE
 - EX OVERHEAD POWER LINE
 - EX STORM DRAIN
 - EX SANITARY SEWER
 - EX TELEPHONE LINE
 - EX GAS LINE
 - EX CULINARY WATERLINE
 - EX FENCE
 - PHASE BOUNDARY
 - NEW DRAINAGE SWALE
 - EG CONTOUR MAJOR (4250)
 - EG CONTOUR MINOR (4250)
 - FG CONTOUR MAJOR (4250)
 - FG CONTOUR MINOR (4250)
 - ASPHALT SAWCUT
 - EXIST. CONC. C&G OR SIDEWALK
 - EXISTING ASPHALT PAVEMENT
 - CONST. CONC. C&G PER X-SECTION
 - SEAL COAT TO COVER WORK DAMAGE
 - CONST ASPHALT - SEE STREET PROFILE
 - OVERLAY ASPHALT - SEE STREET PROFILE

BENCHMARK

BENCHMARK: SOUTH QUARTER CORNER OF SECTION 11, TOWNSHIP 3 NORTH, RANGE 1 WEST, S.L.B.M., ELEVATION = 4302.20

PINNACLE
Engineering & Land Surveying, Inc.
Layton • West Bountiful • Mount Pleasant • St. George
Phone: (801) 773-1910
Fax: (801) 773-1925

SILVERLEAF SUBDIVISION
PRELIMINARY PLAT - NOT TO BE RECORDED
FOR: JEROD JEFFERSON
APPROXIMATELY 1550 N 1700 W
FARMINGTON, UT
06-036A



CALL BLUESTAKES
@ 1-800-662-4111
AT LEAST 48 HOURS
PRIOR TO CONSTRUCTION
ANY CONSTRUCTION

SURVEYED BY	DATE	REVISION
SPB	01/20/10	
DESIGNED BY	DATE	
SPB	02/20/14	
DRAWN BY	DATE	
SPB	03/20/14	
APPROVED BY	DATE	
SJF	03/20/14	



Planning Commission Staff Report November 17, 2016

Item 4: Schematic Plan and Preliminary PUD Master Plan Approval for the Dorene Smith PUD Subdivision

Public Hearing:	Yes
Application No.:	S-17-16
Property Address:	244 East 100 North
General Plan Designation:	LDR (Low Density Residential)
Zoning Designation:	OTR-F (Original Townsite Residential - Foothill)
Area:	.84 acres
Number of Lots:	3
Property Owner:	Dorene Smith Trust
Agent:	Jerry Preston – Elite Craft Homes

Applicant is requesting a recommendation for schematic plan and preliminary PUD master plan approval for the Dorene Smith PUD Subdivision.

Background Information

The applicant, Jerry Preston, is requesting approval for a 3 lot minor subdivision located at 244 East 100 North in the OTR zone. There is an existing historic home on the site, and the applicant is proposing to create a lot for the home, restore the historic home, and subdivide the remaining property into two lots. The lot sizes proposed by the applicant meet the requirement for a conventional subdivision in the OTR zone, because they are above the 10,000 s.f. minimum. The subdivision ordinance only allows one additional lot be accessed by a private street, anything above that requirement must go through an alternative subdivision approval process that provides flexibility in the underlying standards. Because the applicant is proposing a shared private street to access two lots, the applicant needs to go through the PUD process.

According to Chapter 27 of the Zoning Ordinance:

11-27-120 Standards and Requirements.

(a) The minimum area for a Planned Unit Development shall be five acres in AA, A, AE, LS and S zones, and two and one-half acres in LR, R and R-2 zones; and one and one half acres in R-4 and R-8 zones. Any proposal for a Planned Unit Development

in areas smaller than those cited above, may be approved by the Planning Commission based upon the specific conditions related to the site upon which the development is proposed. Smaller Planned Unit Developments are encouraged in the older historical parts of the City in order to use lot interiors where unique conditions may exist.

The total acreage of this property falls well below the threshold of 2.5 or 5.0 acres of the other residential zones throughout the City, however, because the property is in an older and historical part of the City there is an allowance for “smaller planned unit developments.”

In every residential zone, each PUD has a minimum 10% open space requirement. However, 10% of .84 acres is .08 acres, or approximately 3,500 s.f. The PUD chapter does provide a provision whereby historic preservation may be used in lieu of the open space requirement. Section 11-27-120(g) states:

“The City, at its sole discretion, may consider preservation of an on-site building or structure eligible, or that may be eligible, for the National Register of Historic Places in lieu of the 10 percent open space requirement or portion thereof.”

An historic home is currently situated on the site. A yield plan for the property demonstrated the possibility of establishing three lots at this location. Nevertheless, a deviation from standards of the underlying zone is desirable in order to access lots 2 and 3 through the private street, and this is only possible as a PUD. In lieu of the 10% open space requirement, the ordinance allows the City to consider the preservation of an on-site historic building. The existing home on this property is very historic and would meet the NRHP guidelines for nomination, if so desired. Staff feels that the applicant’s willingness to preserve the home should count in lieu of the open space requirement. Additionally, because the proposed subdivision is in the OTR zone, the applicant will need to meet design standards specific to the underlying zone in addition to some requirements of PUDs throughout the City. The applicant has provided elevations illustrating how the two new homes will look. However, at the time of construction, staff reviews the proposed new construction to ensure compliance with the OTR design standards for new construction, and the OTR design standards are more stringent than the PUD requirements in most cases.

Staff wrote a zone text change to Chapter 27 of the Zoning Ordinance that allows for any single family detached PUD under one acre in size to seek for a waiver of *any* provisions within the PUD chapter through a vote of not less than four City Council members. The applicant will be seeking for a waiver of some of the applicable PUD requirements for his subdivision, including the open space requirement and landscape plans.

Lot 3, as is currently constituted on the schematic plan does not comply with Section 12-7-030(2) of the Subdivision Ordinance which states:

“All lots or parcels created by the subdivision shall have frontage on a dedicated street, improved to standards hereinafter required, equal to at least fifty percent (50%) of its minimum required width except for flag lots which shall have a minimum of twenty-eight feet (28’) of frontage. Private streets shall not be permitted unless the Planning Commission finds that the most logical development of the land requires that lots be created which are served by a private street or other means of access, and makes such findings in writing with the reasons stated therein.”

Although the private street is allowed as part of the PUD process, according to this section of the code, the applicant will either need to provide a hammer-head turnaround or a cul-de-sac on Lot 3 to create enough frontage for the lot. The minimum lot width in the OTR zone is 85' for an interior lot, however, the lot width can go down to a minimum of 70' through an administrative approval in the OTR zone only. Therefore, the applicant would need at least 35' of frontage on the private drive; this has been included as a condition for approval.

Suggested Motion

Move that the Planning Commission recommend that the City Council approve the proposed schematic plan and preliminary PUD master plan for the Dorene Smith PUD Subdivision subject to all applicable Farmington City ordinances and development standards and the following conditions:

1. The applicant shall receive a waiver for any applicable PUD requirements as found in Chapter 27 of the Zoning Ordinance through a vote of not less than four (4) members of the City Council;
2. The applicant shall show either a cul-de-sac or a hammer head turnaround at the end of the private street;
3. Lot 3 shall have a minimum of 35' of frontage on the private street.

Findings for Approval:

1. The proposed subdivision will match the densities of the surrounding neighborhood.
2. The proposed schematic plan submittal is consistent with all necessary requirements for a minor subdivision as found in Chapter 5 of the City's Subdivision Ordinance.
3. The proposed PUD master plan is consistent with the intent of the PUD ordinance as found in Chapter 17 of the Zoning Ordinance, including but not limited to the preservation of an existing historic home in lieu of the open space requirement.
4. Because the proposed subdivision is in the OTR zone, the applicant will need to meet the standards for new construction as set-forth in 11-17-070 of the Zoning Ordinance at the time of building permits. Additionally, compliance with the above cited section will meet and exceed the PUD design standards as set forth in Section 11-27-120(h)(3) of the Zoning Ordinance because the standards in the OTR zone are more specific and more stringent for new construction.

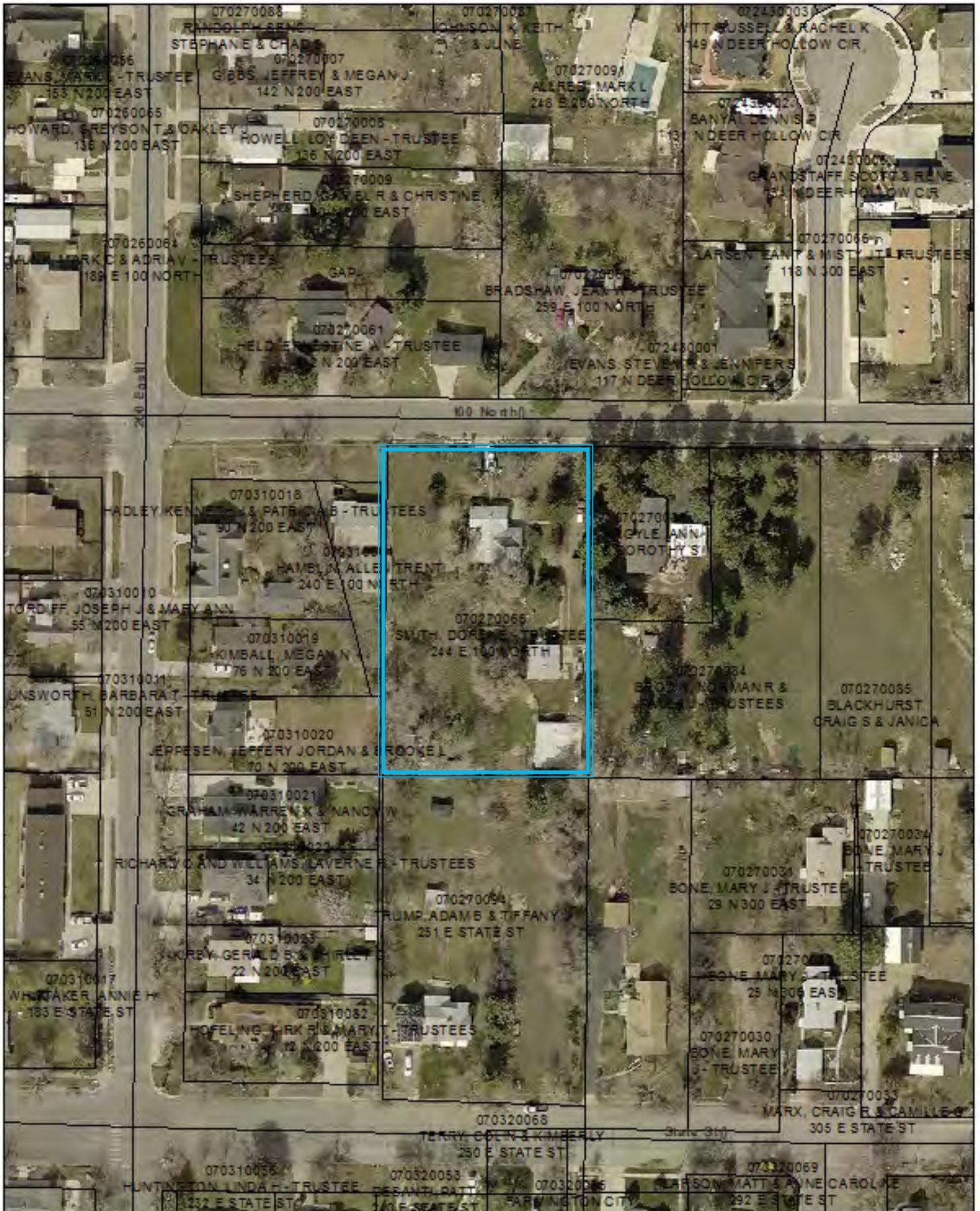
Supplemental Information

1. Vicinity Map
2. Schematic Plan
3. Preliminary PUD Master Plan
4. Elevations of the types of homes that could be used for Lots 2 and 3

Applicable Ordinances

1. Title 11, Chapter 17 – Original Townsite Residential Zones
2. Title 11, Chapter 27 – Planned Unit Developments
3. Title 12, Chapter 5 – Minor Subdivisions
4. Title 12, Chapter 7 – General Requirements for all Subdivisions

Farmington City



EXCAVATION NOTES:

All footings shall bear on natural undisturbed soil. Footings shall be excavated to a minimum depth so as to provide frost protection. (30" min.)
 Finish grading shall be done so as to provide positive drainage away from all building foundations. A minimum slope of 5% shall be maintained for first 10'-0" with 1% slope thereafter to approved drainage area.

ATTIC VENTILATION NOTES:

The net free ventilation area shall not be less than 1/300th provided that at least 50% of the area is provided by ventilators located in the upper portion of the space to be ventilated, the other to be provided by vented soffit system.

GENERAL NOTES:

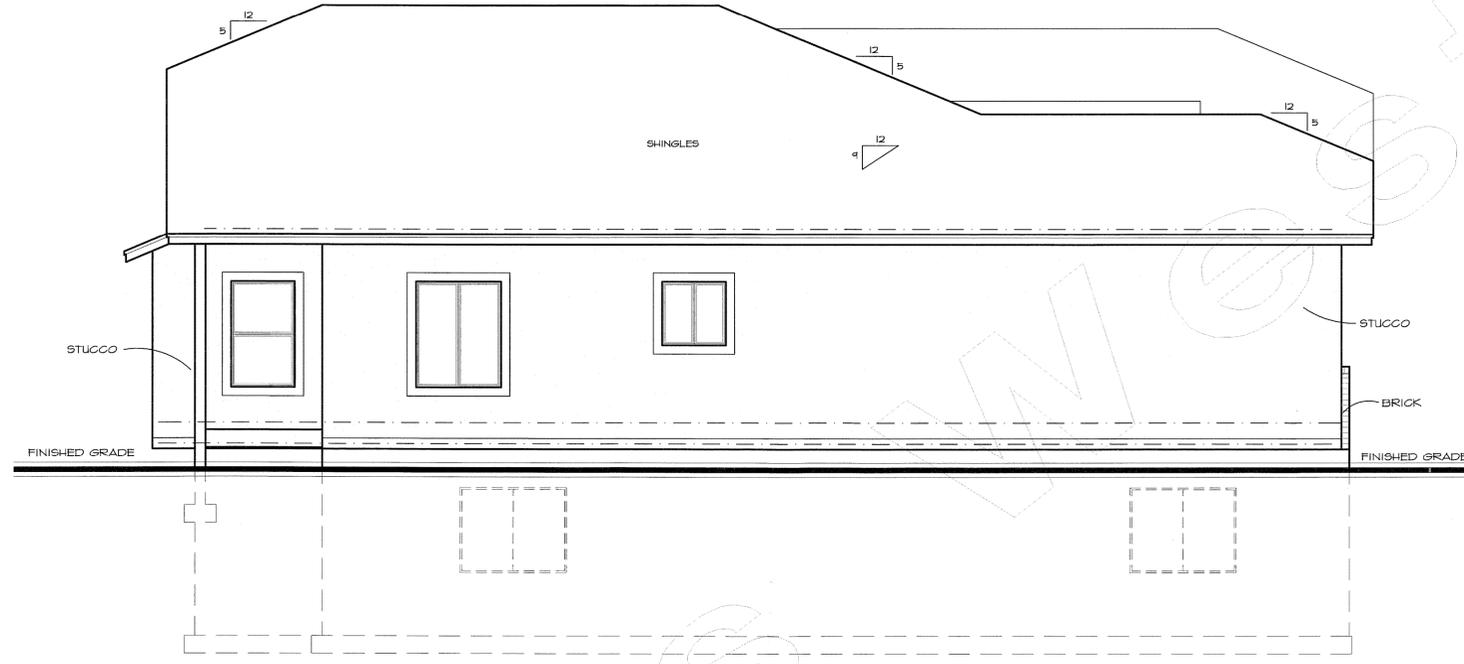
Compliance with codes and ordinances governing the work shall be made and enforced by the general contractor. General contractor shall verify all existing conditions and dimensions prior to construction.
 Note that all written dimensions take precedence over scale. Manufacturers specifications for installation of materials shall be followed.
 Workmanship throughout shall be of the best quality of the trade involved and the general contractor shall coordinate the work of the various trades to expedite the job in a smooth and continuous process.

WINDOWS NOTES:

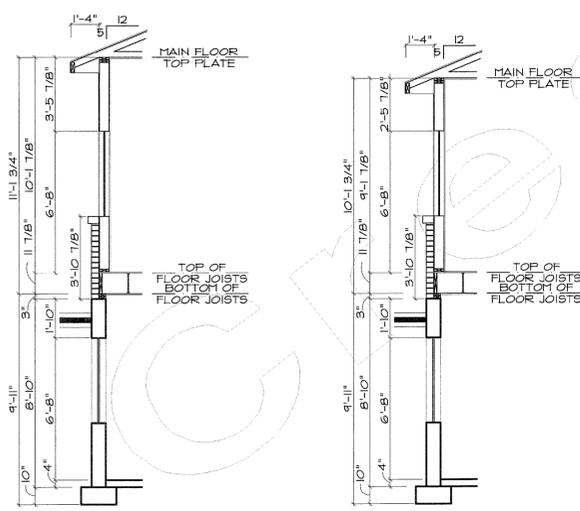
Bedroom windows to have a finished clear opening height max. of 44" from floor.
 Windows to have 20" min. clear width and 24" min. clear height.
 Bedroom windows to be a min. of 5.1 sq. ft.
 Windows to be sized at 1/10th for the sq. ft. for glass size and 1/20th of the sq. ft. for ventilation requirements. Windows within 18" of the floor to be of tempered glass.

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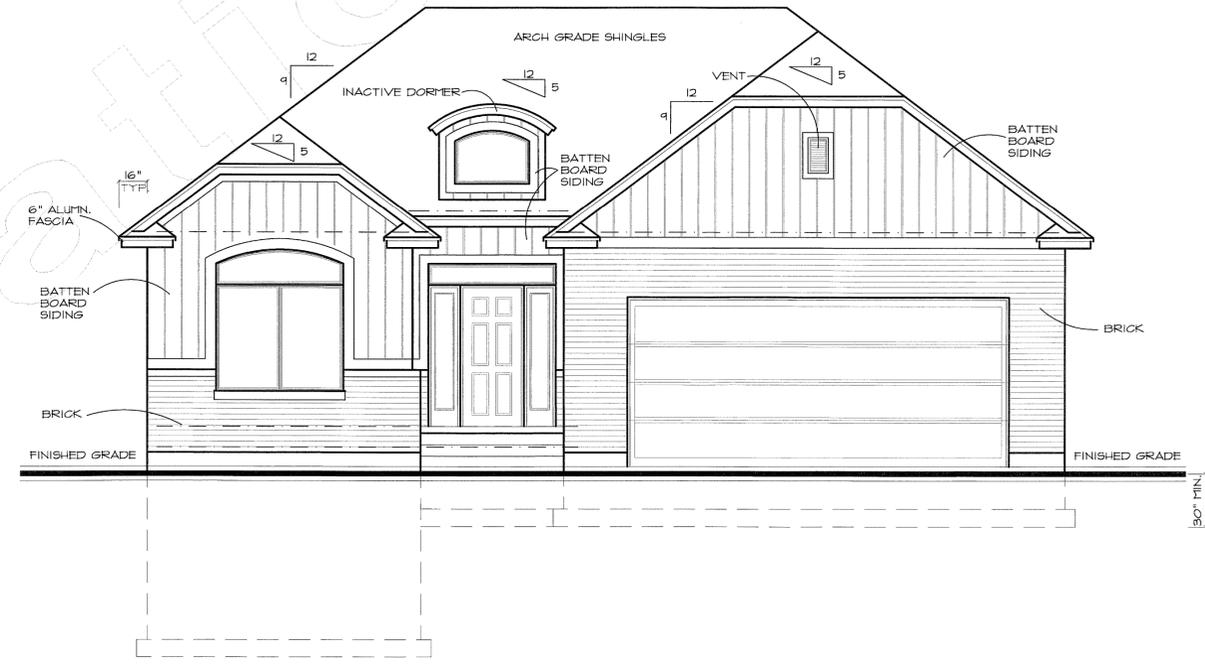
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LEFT ELEVATION
 SCALE 1/8"



TYP. SECTION
 SCALE NOT APPLICABLE IN ALL LOCATIONS 1/4"



FRONT ELEVATION
 SCALE 1/4"

PLAN REVIEWED FOR COMPLIANCE BY LAYTON CITY
 DATE 9/3/15 SIGNATURE



RECEIVED
 AUG 26 2015

LAYTON CITY DEVELOPMENT

PLANNED FOR:
ELITE CRAFT HOMES
 LOT # 3, OAK HILLS
 LAYTON, UTAH

3544 E. 17th Street
 Ammon, Idaho 83406
 P. 208.525.9555

1424 Legend Hills Dr.
 Suite # 120
 Clearfield, Utah 84015
 P. 801.328.6700

CREATIONS WEST
 ARCHITECTURE & DESIGN
 WWW.CREATIONSWEST.COM



DATE: AUG. 20 15

SHEET: 1

PLAN NUMBER
R-1669-15UE

EXCAVATION NOTES:

All footings shall bear on natural undisturbed soil. Footings shall be excavated to a minimum depth so as to provide frost protection. (30" min.)
 Finish grading shall be done so as to provide positive drainage away from all building foundations. a minimum slope of 2% shall be maintained for first 10'-0" with 2% slope thereafter to approved drainage area.

ATTIC VENTILATION NOTES:

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GENERAL NOTES:

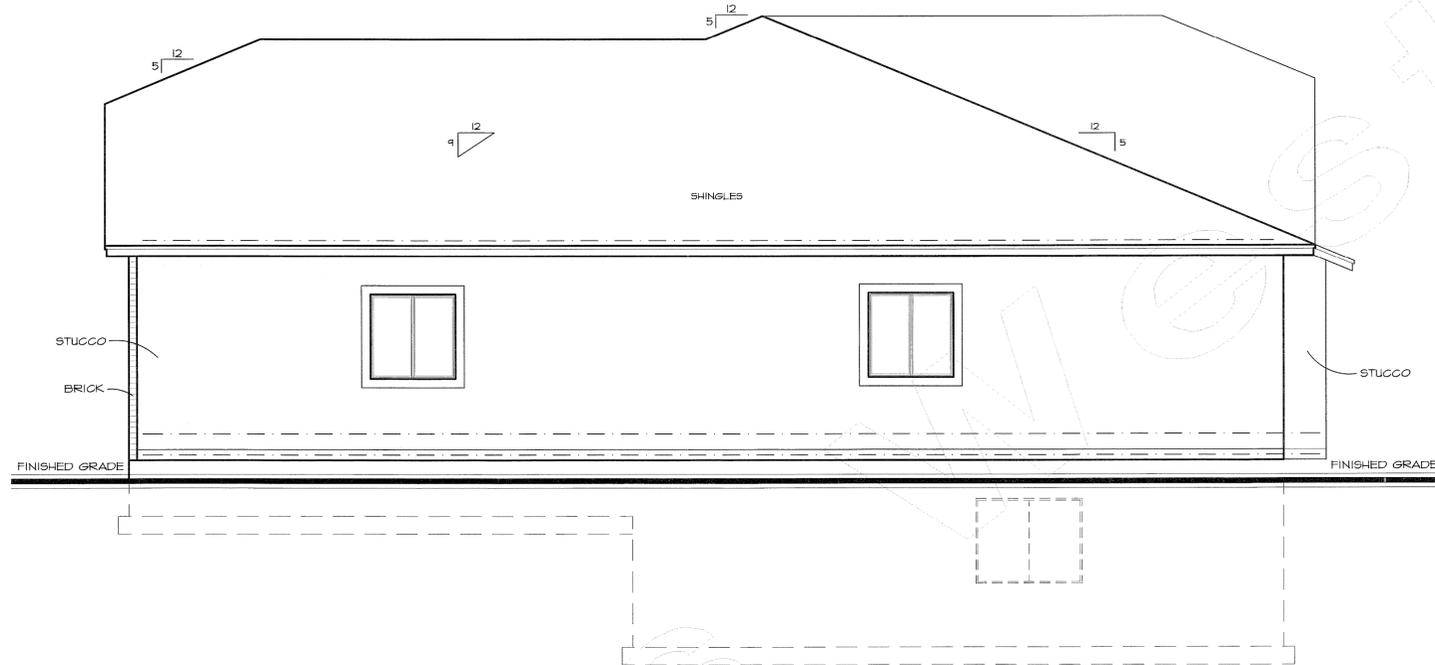
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WINDOWS NOTES:

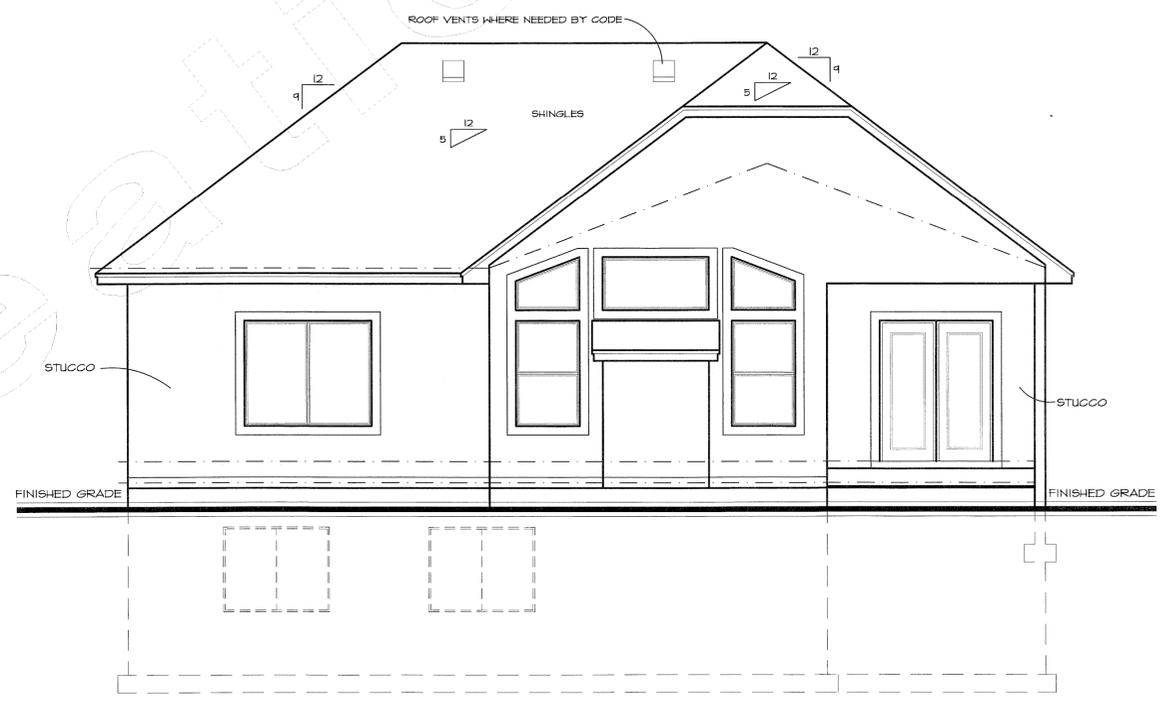
Bedroom windows to have a finished clear opening height max. of 44" from floor.
 Windows to have 20" min. clear width and 24" min. clear height.
 Bedroom windows to be a min. of 5.7 sq. ft.
 Windows to be sized at 1/10th for the sq. for glass size and 1/20th of the sq. ft. for ventilation requirements. Windows within 18" of the floor to be of tempered glass.

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RIGHT ELEVATION
 SCALE 1/8"



REAR ELEVATION
 SCALE 1/8"



PLANNED FOR
ELITE CRAFT HOMES
 LOT# 3, OAK HILLS
 LAYTON, UTAH

3544 E. 17th Street
 Ammon, Idaho 83406
 P. 208.525.9555
 plans@creationswest.com

1424 Legend Hills Dr.
 Suite # 120
 Clearfield, Utah 84015
 P. 801.228.6700
 plans@creationswest.com

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DATE:
 AUG. 20 15

SHEET:
 2

PLAN NUMBER
R-1669-15UE

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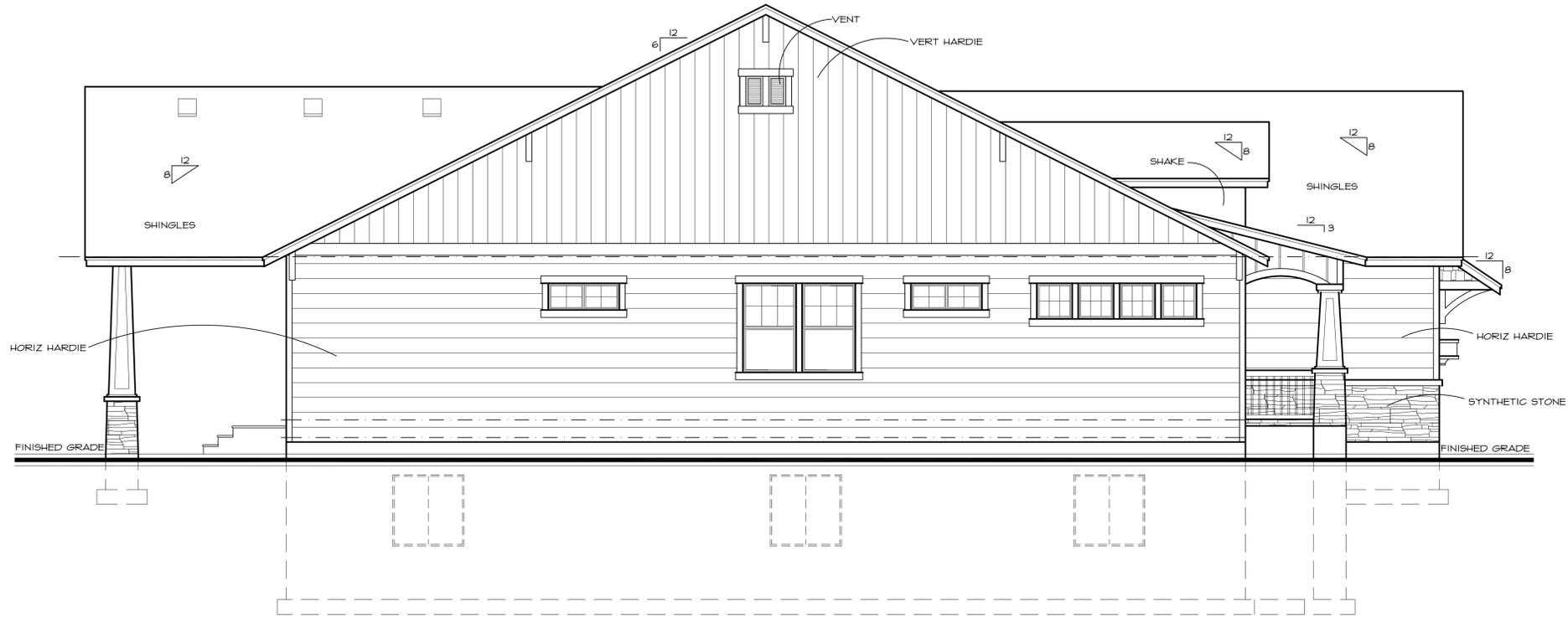
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LEFT ELEVATION
 SCALE 1/8"



FRONT ELEVATION
 SCALE 1/4"

PLANNED FOR:
PRINCE RESIDENCE
 LOT# XXXX, PLAT
 FARMINGTON, UTAH

3544 E. 17th Street
 Ammon, Idaho 83406
 P. 208.525.9555
 plans@creationswest.com

1424 Legend Hills Dr.
 Suite # 120
 Clearfield, Utah 84015
 P. 801.525.6700
 plans@creationswest.com

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DATE:
 JUL. 06 15
 SHEET:
 1

PLAN NUMBER
R-1872-15UE

EXCAVATION NOTES:

All footings shall bear on natural undisturbed soil. Footings shall be excavated to a minimum depth so as to provide frost protection. (30" min.)
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ATTIC VENTILATION NOTES:

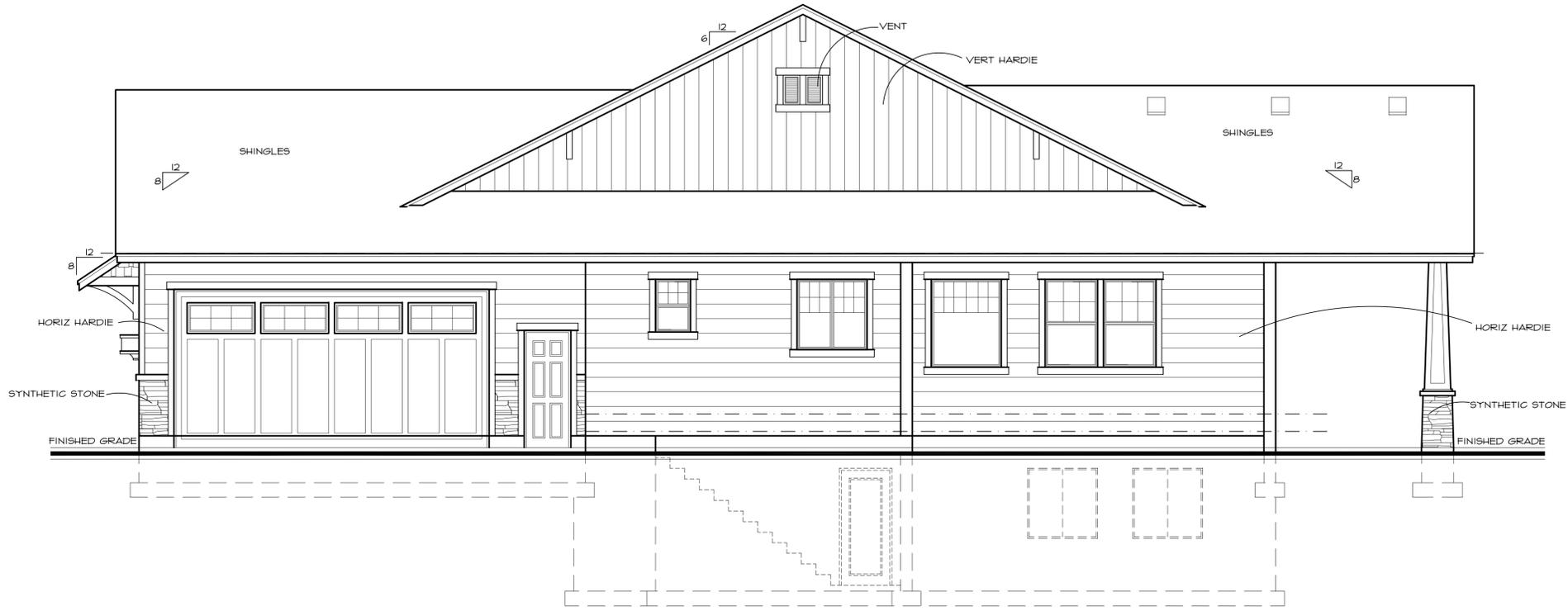
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GENERAL NOTES:

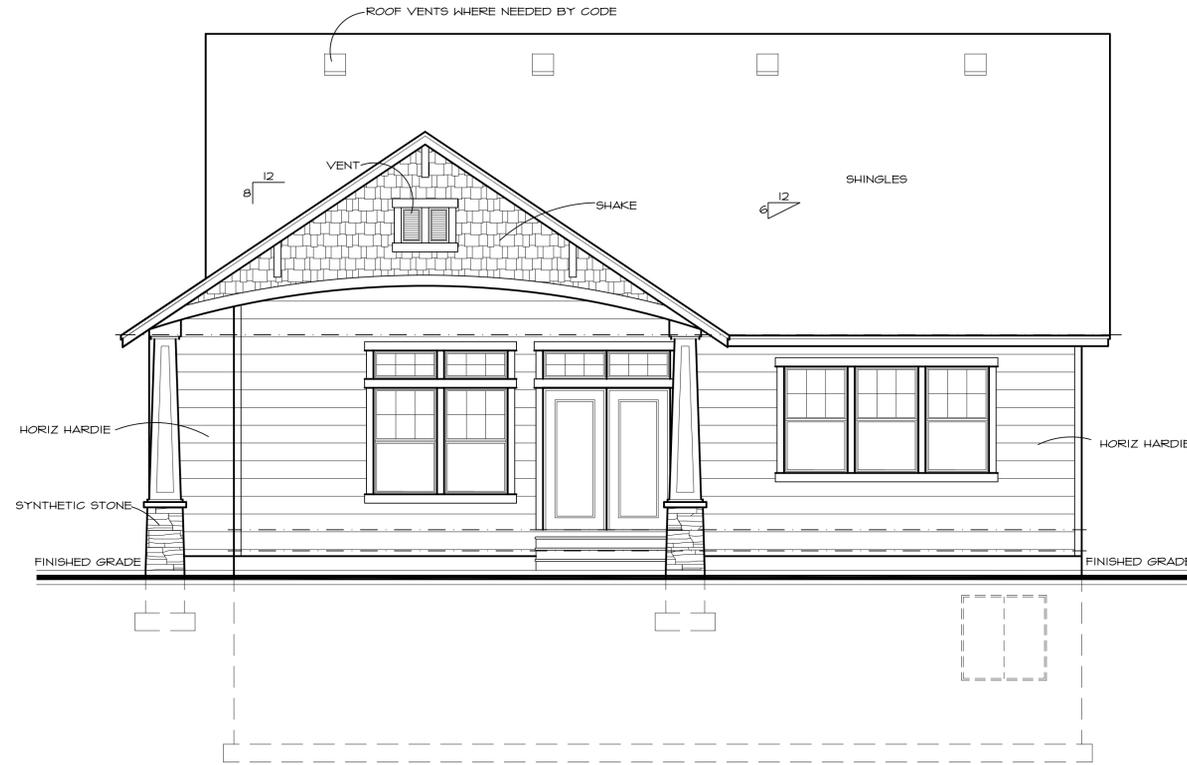
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RIGHT ELEVATION
SCALE 1/8"



REAR ELEVATION
SCALE 1/8"

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PLANNED FOR: **PRINCE RESIDENCE**
LOT# XXXX, PLAT FARMINGTON, UTAH

3544 E. 17th Street
Ammon, Idaho 83406
P. 208.525.9555
plans@creationswest.com

1424 Legend Hills Dr.
Suite # 120
Clearfield, Utah 84015
P. 801.525.6700
plans@creationswest.com

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DATE:
JUL. 06 15

SHEET:
2

PLAN NUMBER
R-1872-15UE



Planning Commission Staff Report November 17, 2016

Misc.: Street-Cross Section Modification Proposal for Rock Mill Subdivision

Public Hearing:	No
Application No.:	N/A
Property Address:	16 West 600 North
General Plan Designation:	LDR (Low Density Residential)
Zoning Designation:	LR-F (Large Residential – Foothill) & OTR (Original Townsite Residential)
Area:	Approx. 12 Acres
Number of Lots:	N/A
Applicant:	Russell Wilson – Symphony Homes
Agent:	Russell Wilson – Symphony Homes

Consideration to amend the City's standard street-cross section throughout the proposed Rock Mill Subdivision.

Background Information:

The proposed Rock Mill Estates Subdivision consists of 25 lots on the Haugen property off of 600 North and Main Street. The preliminary plat for this subdivision was approved and thereafter memorialized by development agreement on September 13, 2010. Symphony Homes has taken over the project and are proposing to complete the project through final plat and construction. However, before they can complete the project, they need to modify the cross-section of certain roads within the subdivision in order to create the number of buildable lots as per the agreement. The roads they are proposing would not have sidewalk or parkstrip, but the proposal includes curb, gutter, and 28' of asphalt (which is the same as the standard for a local street). The cul-de-sac would also be narrower than the standard; the applicant met with the Fire Marshall and provided a model for a 40' ladder truck turn. The Fire Marshall reviewed and approved the proposal.

The original preliminary plat that was approved and memorialized by development agreement has some issues with the buildable areas of lots, and the applicant is arguing that the overall product, if constructed as originally proposed (and approved) would be of a lower quality. By narrowing the street cross-section, the applicant will be able to preserve a lot of the mature growth trees in the subdivision, and the product would be similar to what Henry Walker Homes did across 600 North in The Grove Subdivision. In that subdivision, there are no sidewalks and there are narrow streets, and the project has been very successful. Even though the majority of the layout is the same as that of the approved preliminary plat, the revisions Symphony are proposing are desirable and will, in staff's opinion, provide a superior project to the original.

Suggested Motion:

Move that the Planning Commission recommend that the City Council approve the proposed street cross-section modification for the Rock Mill Estates Subdivision as shown on the attached plan, subject to all applicable Farmington City ordinances and development standards and the following conditions:

1. The applicant shall provide a snow removal easement on the side of the road, and this easement shall appear on the plat;
2. The applicant will preserve as many trees as possible.

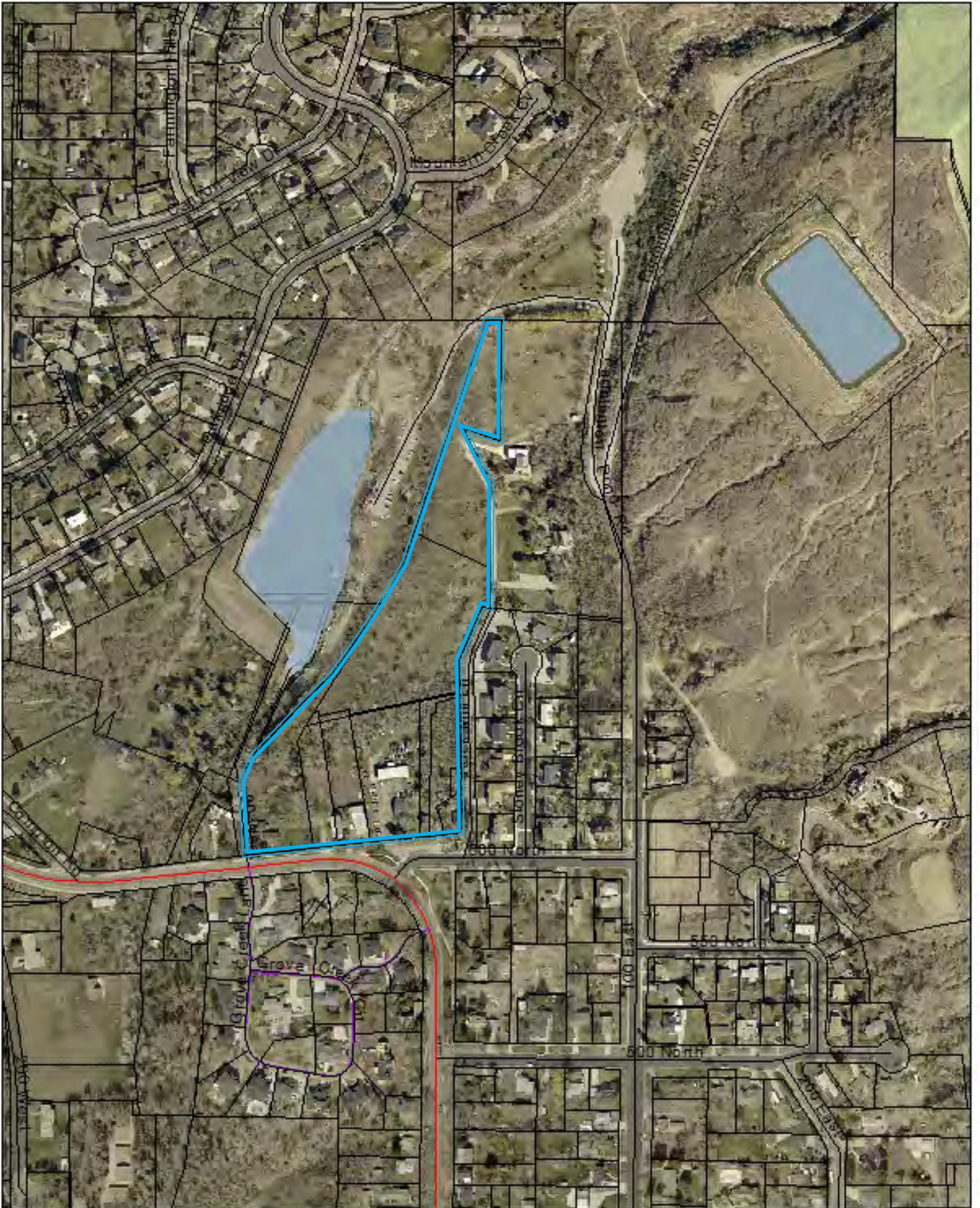
Findings:

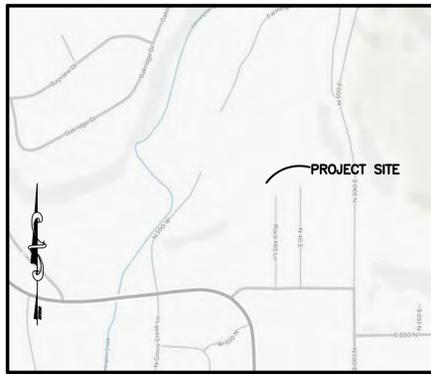
1. The proposed street cross-section modification will allow the applicant to improve upon the already approved preliminary plat for this property by creating a superior layout where the buildable area is maximized and the placement of houses is improved.
2. The proposed modification will allow the applicant to preserve many of the mature trees within the proposed subdivision.
3. The proposed subdivision is being modeled after The Grove, which has been a very successful project with no sidewalk and tree-lined narrow streets.

Supplemental Information

1. Vicinity Map
2. Subdivision Plan with Proposed Street Cross-Sections
3. Subdivision Plan with Aerial
4. Preliminary Plat of Rockmill Estates
5. 40' Fire Truck Turn-Around Model for Cul-De-Sac
6. Local Street Cross-section

Farmington City





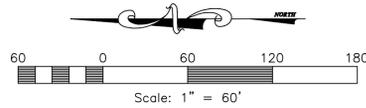
VICINITY MAP
SCALE: NONE

ZONE LR-F

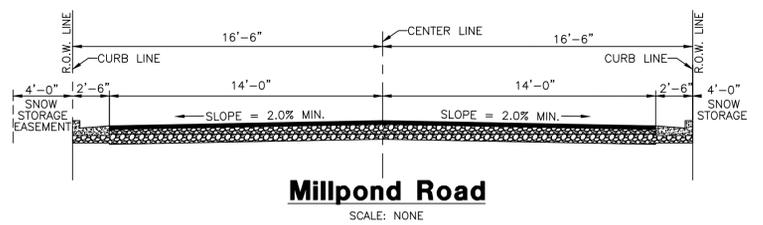
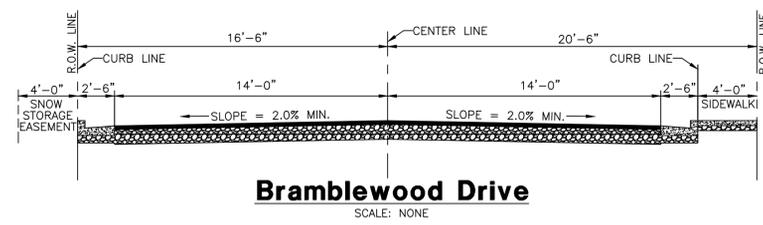
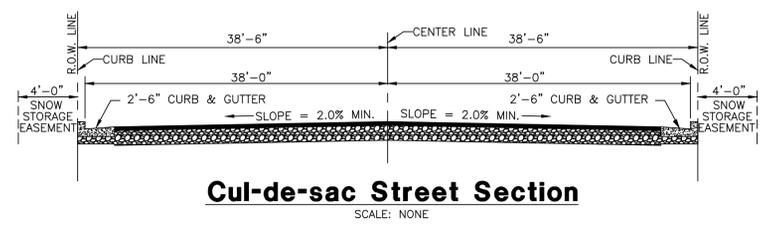
FRONT SETBACK: 25'
SIDE SETBACK: 10' MIN., 22' TOTAL
SIDE CORNER SETBACK: 20'
REAR SETBACK: 30'

CURVE TABLE

#	RADIUS	ARC LENGTH	CHD LENGTH	TANGENT	CHD BEARING	DELTA
C1	122.12'	53.08'	52.67'	26.97'	N11°14'50"E	24°54'22"
C2	100.00'	12.31'	12.30'	6.16'	S19°41'48"E	7°03'09"
C3	170.00'	61.77'	61.43'	31.23'	S12°48'46"E	20°49'11"



NOTE:
THE HOUSE ON LOT 14 WILL HAVE FIRE SPRINKLERS



DEVELOPER:
Symphony Homes
526 North 400 West
North Salt Lake, UT 84054
(801) 298-8555

Rock Mill Estates Subdivision

Farmington City, Davis County, Utah

Reeve & Associates, Inc.
5160 SOUTH 1500 WEST, RIVERDALE, UTAH 84405
TEL: (801) 291-3100 FAX: (801) 621-2666 WWW.REEVE-ASSOCIATES.COM
LAND PLANNERS • CIVIL ENGINEERS • LAND SURVEYORS
TRAFFIC ENGINEERS • STRUCTURAL ENGINEERS • LANDSCAPE ARCHITECTS

REVISIONS	DESCRIPTION

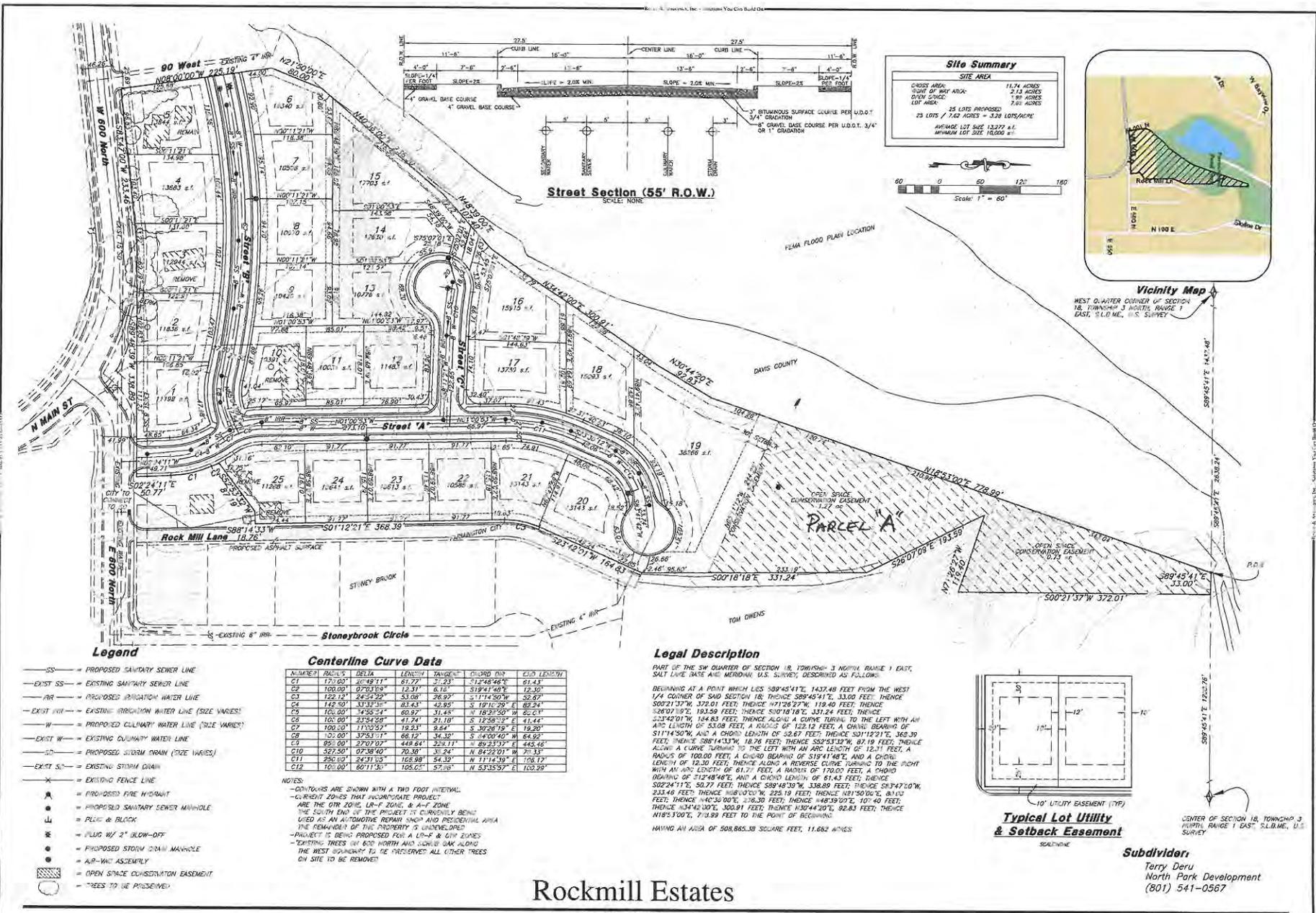
Rock Mill Estates Subdivision
PART OF THE SW 1/4 OF SECTION 8, T.3N., R.1E., S.LB & M., U.S. SURVEY
FARMINGTON CITY, DAVIS COUNTY, UTAH

Site Plan

Project Info.

Engineer:	N. Reeve
Designer:	C. Cave
Begin Date:	MAY 4, 2015
Name:	ROCK MILL ESTATES
Number:	1864-68

Sheet	1
	Sheets



Site Summary	
CHUCK AREA:	11.74 ACRES
CHUCK OF WAY AREA:	2.13 ACRES
CHUCK SPACE:	1.83 ACRES
LOT AREA:	7.61 ACRES
25 LOTS / 1.62 ACRES = 3.38 LOTS/ACRE	
AVERAGE LOT SIZE:	13,277 s.f.
MINIMUM LOT SIZE:	10,000 s.f.

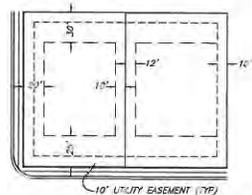


Legal Description

PART OF THE SW QUARTER OF SECTION 18, TOWNSHIP 3 NORTH, RANGE 1 EAST, TALEY LINE, RATE AND MERIDIAN, U.S. SURVEY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES S89°45'41"E, 1437.48 FEET FROM THE WEST 1/4 CORNER OF SAID SECTION 18; THENCE S89°45'41"E, 33.00 FEET; THENCE S00°21'37"W, 372.01 FEET; THENCE N71°28'27"W, 119.40 FEET; THENCE S26°07'02"E, 193.50 FEET; THENCE S00°18'18"W, 331.24 FEET; THENCE S23°42'01"W, 184.83 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 53.68 FEET, A RADIUS OF 122.12 FEET, A CHORD BEARING OF S11°14'50"W, AND A CHORD LENGTH OF 32.67 FEET; THENCE S01°12'21"E, 363.30 FEET; THENCE S88°14'33"W, 18.78 FEET; THENCE S52°53'12"W, 87.19 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 12.31 FEET, A RADIUS OF 100.00 FEET; THENCE ALONG A REVERSE CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 61.17 FEET, A RADIUS OF 170.00 FEET, A CHORD BEARING OF S12°48'48"E, AND A CHORD LENGTH OF 61.43 FEET; THENCE S02°24'11"E, 50.77 FEET; THENCE S89°48'39"W, 338.89 FEET; THENCE S81°47'00"W, 233.46 FEET; THENCE N84°00'00"E, 229.19 FEET; THENCE N01°50'00"E, 81.93 FEET; THENCE N40°30'00"E, 276.30 FEET; THENCE N48°39'00"E, 107.40 FEET; THENCE N34°40'00"E, 300.81 FEET; THENCE N30°44'20"E, 92.83 FEET; THENCE N18°3'00"E, 71.39 FEET TO THE POINT OF BEGINNING.

HAVING AN AREA OF 508,865.30 SQUARE FEET, 11.682 ACRES



Typical Lot Utility & Setback Easement

Subdivider:
Terry Deru
North Park Development
(801) 541-0567

CURVE NO.	BEARING	DELTA	ANGLE	TANGENT	CHORD END	CHORD LENGTH
C1	172.180°	86.4911°	81.77°	21.23'	S12°48'48"E	61.43
C2	100.000°	0°00'00"	12.31°	6.16'	S11°14'50"W	32.67
C3	122.122°	24.5422°	33.08°	26.92'	S11°14'50"W	32.67
C4	142.501°	33.3358°	43.43°	43.95'	S11°14'50"W	32.67
C5	100.000°	0°00'00"	60.92°	31.44'	N18°3'00"E	62.31
C6	100.000°	0°00'00"	41.74°	21.10'	S12°48'48"E	61.44
C7	100.000°	11°03'57"	19.23°	9.64'	S30°26'16"E	19.20
C8	100.000°	37°53'11"	66.92°	36.32'	S14°09'40"E	64.69
C9	95.000°	27°07'07"	44.64°	22.11'	S89°23'37"E	44.58
C10	527.350°	07°38'40"	70.36°	35.24'	N84°22'01"W	70.33
C11	290.601°	24°11'52"	102.88°	54.32'	N11°14'18"E	176.12
C12	100.000°	50°11'30"	106.65°	57.10'	N53°35'57"E	100.29

- NOTES:**
- DIMENSIONS ARE SHOWN WITH A TWO FOOT INTERVAL.
 - CURRENT ZONES THAT INCORPORATE PROJECT ARE THE CITY ZONE, LRP-F ZONE, & A-F ZONE.
 - THE SOUTH END OF THE PROJECT IS CURRENTLY BEING USED AS AN AUTOMOTIVE REPAIR SHOP AND RECEIVING AREA THE REMAINDER OF THE PROPERTY IS UNDEVELOPED.
 - PROJECT IS BEING PROPOSED FOR A LRP-F & LRP ZONES.
 - EXISTING TREES 6" DBH NORTH AND SOUTH DAK ALONG THE WEST BOUNDARY TO BE PRESERVED ALL OTHER TREES ON SITE TO BE REMOVED.

Rockmill Estates

Farmington City, Davis County, Utah

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF REEVE & ASSOCIATES, INC., 4155 S. HARRISON BLVD. DEXTER BLVD. #310, OGDEN, UTAH 84403, AND SHALL NOT BE REPRODUCED, RE-ARRANGED, OR USED ON ANY PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT THEIR WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF REEVE & ASSOCIATES, INC. CANNOT ASSUME ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT.

Reeve & Associates, Inc.
IRA

REVISIONS

DATE	DESCRIPTION

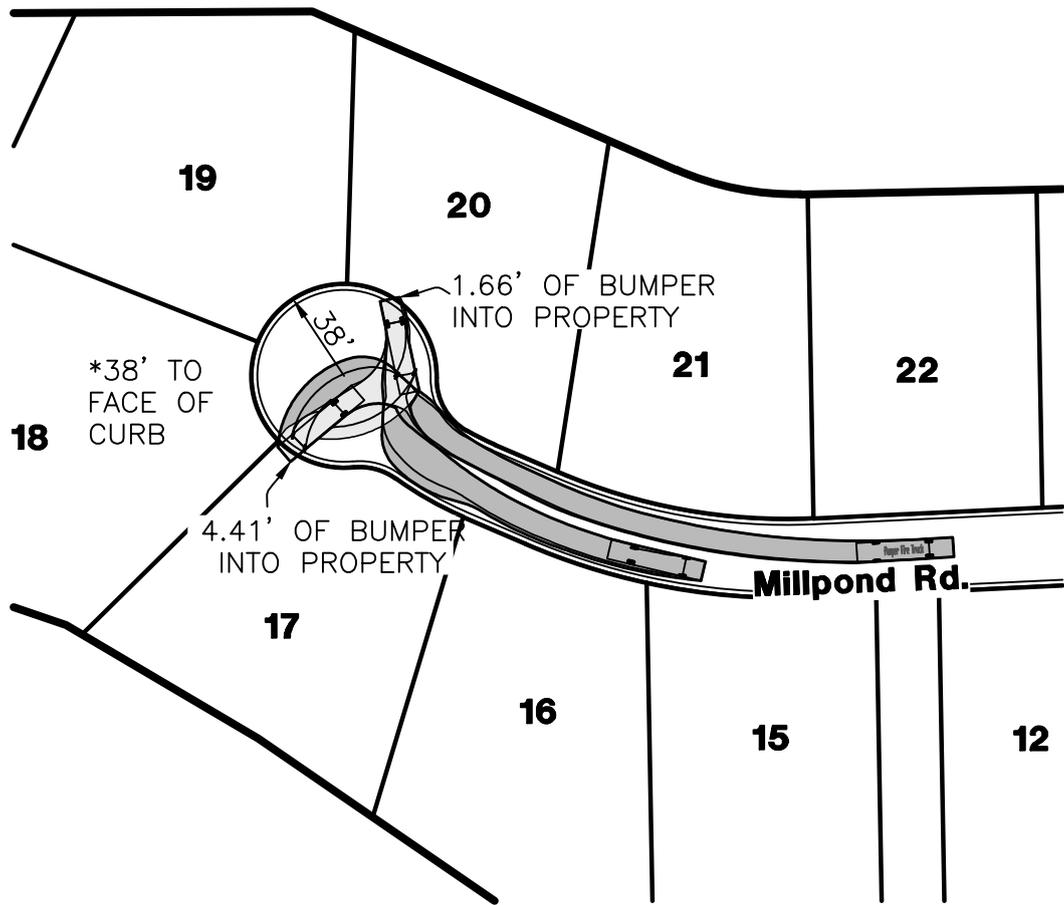
Rockmill Estates
PART OF THE SW 1/4 OF SECTION 18, TOWNSHIP 3 NORTH, RANGE 1 EAST, S.L.R.M.E. U.S. SURVEY
FARMINGTON CITY, DAVIS COUNTY, UTAH

preliminary Plat-Not To Be Recorded

Project Info.
Engineer: J. Reeve
Designer: C. Coyle
Draftsman: Mathias Jr.
Begin Date: July 3, 2007
Name: Rockmill Estates
Number: 5304-61

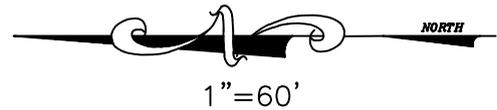
Sheet 1 of 1

40' LENGTH FIRE TRUCK TURN-AROUND EXHIBIT



LEGEND

-  = FORWARD SWEEP PATH OF 40.0' PUMPER FIRE TRUCK
-  = REVERSE SWEEP PATH OF 40.0' PUMPER FIRE TRUCK



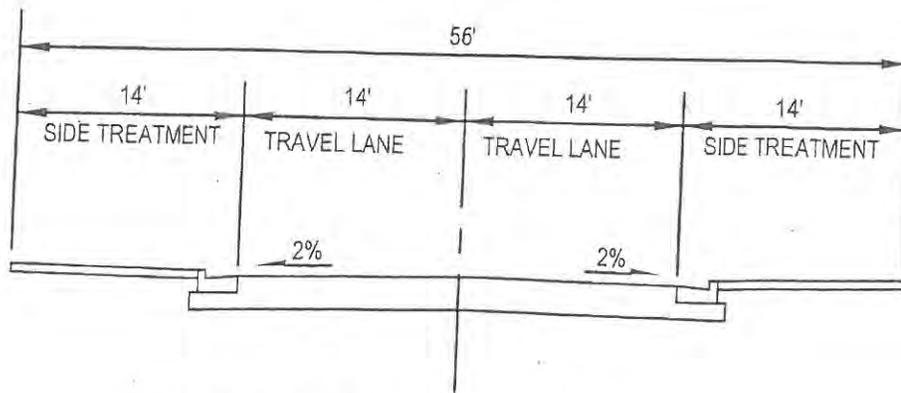
**Reeve
& Associates, Inc.**

5160 S 1500 W, RIVERDALE, UTAH 84405
 TEL: (801) 621-3100 FAX: (801) 621-2666 www.reeve-assoc.com
 LAND PLANNERS * CIVIL ENGINEERS * LAND SURVEYORS
 TRAFFIC ENGINEERS * STRUCTURAL ENGINEERS * LANDSCAPE ARCHITECTS

Project Info.

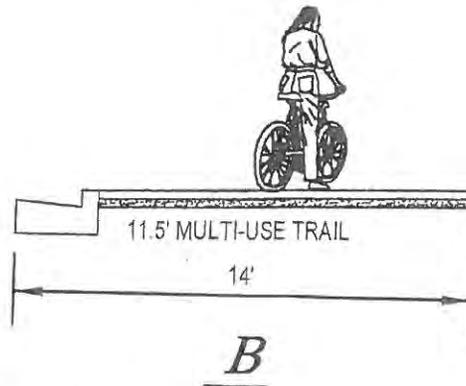
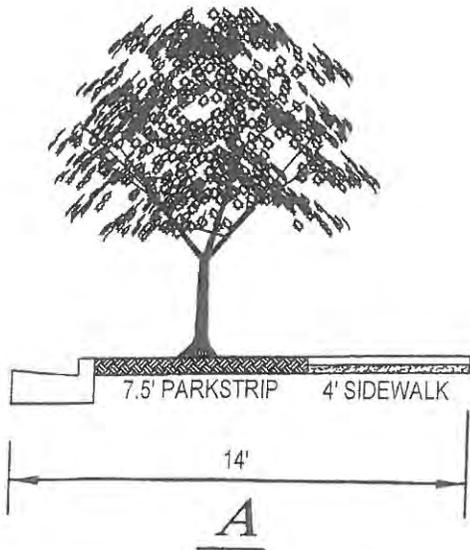
Designer: E. ROCHE
 Date: 11-4-16
 Name: ROCK MILL ESTATES
 Number: 1864-68
 Scale: 1"=80'

LOCAL



55-FOOT RIGHT-OF-WAY

2 LANES



SIDE TREATMENTS

ROAD SECTION

PLAN NO. 260 SP

DRAWING 1 OF 6