



Farmington City Planning Commission

October 6, 2016



# F A R M I N G T O N C I T Y

H. JAMES TALBOT  
MAYOR

BRETT ANDERSON  
DOUG ANDERSON  
JOHN BILTON  
BRIGHAM MELLOR  
CORY RITZ  
CITY COUNCIL

DAVE MILLHEIM  
CITY MANAGER

## **AGENDA** **PLANNING COMMISSION MEETING** **October 6, 2016**

Public Meeting at the Farmington City Hall, 160 S. Main Street, Farmington, Utah

*Study Session: 6:00 p.m. – Conference Room 3 (2<sup>nd</sup> Floor)*

**Regular Session: 7:00 p.m. – City Council Chambers (2<sup>nd</sup> Floor)**

*(Please note: In order to be considerate of everyone attending the meeting and to more closely follow the published agenda times, public comments will be limited to 3 minutes per person per item. A spokesperson who has been asked by a group to summarize their concerns will be allowed 5 minutes to speak. Comments which cannot be made within these limits should be submitted in writing to the Planning Department prior to noon the day before the meeting.)*

1. Minutes
2. City Council Report

### **SUBDIVISION**

3. John Hansen (Public Hearing) – Applicant is requesting a recommendation for plat amendment approval to split Lot 2 of the Farmington Fields Amended Subdivision consisting of 1.34 acres of property located at 491 W. Bourne Circle in a CMU (Commercial Mixed Use) zone. (S-16-16)

### **ZONE CHANGE**

4. Craig Blackhurst and Jerry Preston – Elite Craft Homes (Public Hearing) – Applicant is requesting a recommendation for Zoning Map Amendment of .59 acres of property located at 306 East 100 North from OTR-F (Original Townsite Residential - Foothill) to LR-F (Large Residential - Foothill) zone. (Z-5-16)
5. Jonathan Hughes and Chase Freebairn – Ivory Homes (Public Hearing) – Applicants are requesting a recommendation for Zoning Map Amendment of 31.79 acres of property located at approximately 600 South 1525 West from AA (Agriculture - Very Low Density) to AE (Agriculture Estates) zone. (Z-2-16)

### **OTHER**

6. Miscellaneous, correspondence, etc.
  - a. Other
7. Motion to Adjourn

*Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to take action on the item; OR 2. if the Planning Commission feels there are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.*

Posted September 30, 2016

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Eric Anderson  
City Planner

**FARMINGTON CITY**  
**PLANNING COMMISSION MEETING**  
September 22, 2016

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**STUDY SESSION**

***Present:** Chair Rebecca Wayment, Commissioners Bret Gallacher, Kent Hinckley, Alex Leeman, and Dan Rogers, Community Development Director David Petersen, Associate City Planner Eric Anderson, and Recording Secretary Lara Johnson. Commissioners Heather Barnum and Connie Deianni were excused.*

**Item #3. Jim Steman/Station Park CenterCal – Requesting a Recommendation for Zone Change Approval from an A (Agriculture) to a GMU (General Mixed Use) Zone**

**Eric Anderson** said CenterCal owns two pieces of property they wish to develop; however, it needs to be zoned GMU. The General Plan designation is TMU (Transportation Mixed Use) and the zone map is GMU for the area. He said the proposal for this property is a continuation of what has already been done at Station Park. **Rebecca Wayment** asked what the difference is between the GMU and TMU zones. **Eric Anderson** said buildings can go higher and can be denser in the TMU zone. **Rebecca Wayment** asked why the applicant is wanting to change from TMU. **Eric Anderson** clarified that the TMU is the General Plan designation for the entire mixed use district, and the TMU zone is limited to areas within a certain distance from the train station. The property and surrounding area are planned for the GMU zone.

**Item #4. Steven Nelson and Cory Karl – Requesting a Recommendation for Zone Change Approval for Property from an A (Agriculture) to a LR (Large Residential) Zone**

**Eric Anderson** showed the zone map for the Nelson property. He said everything is straightforward as the surrounding area is already zoned LR, except for a piece of property to the north. The General Plan designation is LDR. The property is currently zoned A as that was the automatic zone designation when the property was annexed into the City. The applicants are proposing that their four existing parcels have a boundary adjustment to move lot lines making three large estate lots. **Eric Anderson** said each lot would be around an acre and a half. Currently, the City owns two of the remnant parcels; the applicants are negotiating terms to buy the property from the City. He pointed out that it will be the City Council's decision to sell the two remnant pieces of property, but the applicants' plans do hinge on that approval.

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**REGULAR SESSION**

***Present:** Chair Rebecca Wayment, Commissioners Bret Gallacher, Kent Hinckley, Alex Leeman, and Dan Rogers, Associate City Planner Eric Anderson, and Recording Secretary Lara Johnson. Commissioners Heather Barnum and Connie Deianni and Community Development Director David Petersen were excused.*

**Item #1. Minutes**

**Alex Leeman** made a motion to approve the Minutes from the September 8, 2016 Planning Commission meeting with the amendment to include Bret Gallacher as present in the meeting. **Dan Rogers** seconded the motion, which was unanimously approved.

**Item #2. City Council Report**

**Eric Anderson** gave a report from the September 20, 2016 City Council meeting. He said the Park Lane Commons Phase IV Schematic Plan and Plat Amendment was approved. The City Engineer asked that the storm drain lines and other improvements be made prior to the start of Phase IV so a condition to the motion was added and approved by the Council.

**CONDITIONAL USE PERMITS**

**Item #3. Jim Steman/Station Park CenterCal (Public Hearing) – Applicant is requesting a recommendation for zone change approval for 5.84 acres of property from an A (Agriculture) to a GMU (General Mixed Use) Zone located at approximately 1100 West and Park Lane. (Z-3-16)**

**Eric Anderson** said the property being discussed is on the corner of 1100 W. and Park Lane. He said CenterCal owns the property as well as the property across Park Lane. He said the applicant is requesting to rezone the property from A to GMU. The General Plan designation of this property is Transportation Mixed Use and the surrounding properties are already zoned GMU. The applicant is wanting to continue their Station Park development. **Eric Anderson** said the property being discussed has always been intended to be zoned GMU.

**Jim Steman**, 140 Washington St., El Segundo, California, representative from CenterCal, said they were surprised that this property was still zoned A. He feels the rezone to GMU would be consistent to the surrounding area. He said they plan to build similar quality of shops as what is found within the Station Park development.

**Rebecca Wayment opened the public hearing at 7:07 p.m.**

No comments were received.

**Rebecca Wayment closed the public hearing at 7:07 p.m.**

There was no further discussion from the commissioners.

***Motion:***

**Dan Rogers** made a motion that the Planning Commission recommend that the City Council approve the rezone of 5.84 acres of property located at approximately 1100 West and Park Lane from A to GMU, as identified on the attached maps, subject to all applicable Farmington City ordinances and development standards. **Alex Leeman** seconded the motion, which was unanimously approved.

**Findings for Approval:**

1. The proposed rezone is consistent with the General Plan.
2. The proposed rezone is consistent with surrounding properties.
3. The proposed rezone is consistent with the overall master plan for the mixed use district.

4. The proposed rezone will allow CenterCal to continue their hitherto successful Station Park development to points west.

**Item #4. Steven Nelson and Cory Karl (Public Hearing) – Applicants are requesting a recommendation for zone change approval for 3.84 acres of property from an A (Agriculture) to a LR (Large Residential) Zone located at 1150 South and 35 East. (Z-4-16)**

**Eric Anderson** said the applicant owns the property, and is negotiating to purchase the two remaining remnant pieces that are owned by the City. He said the applicant desires to build three estate lots on the property. Once all four parcels are owned by the applicants, the applicants may request a boundary adjustment to create three estate lots instead of going through the subdivision platting process. Since the property is currently zoned A, the minimum lot size is 2 acres, and each proposed lot is approximately one acre. **Eric Anderson** said the surrounding properties are already zoned LR, and the General Plan for this property is LDR. This zone change request is consistent with the area.

Both applicants were not present at this time as they were out of town.

**Rebecca Wayment opened the public hearing at 7:12 p.m.**

**No comments were received.**

**Rebecca Wayment closed the public hearing at 7:12 p.m.**

**Rebecca Wayment** appreciated the applicant's proposal, as it is not very often large lots are proposed for a piece of property.

**Alex Leeman** asked if the applicants plan to keep the estate lots within their families. **Eric Anderson** said each applicant may keep a lot, but is not sure what they will do with the other lot.

**Dan Rogers** asked if future property owners could request to subdivide later. **Eric Anderson** said yes; however, the lot would still be restricted by the LR zone.

***Motion:***

**Kent Hinckley** made a motion that the Planning Commission recommend that the City Council approve the zone map amendment of 3.84 acres of property located at approximately 35 East and 1150 South from A to LR, as identified on the attached map, subject to all applicable Farmington City ordinances and development standards. **Bret Gallacher** seconded the motion, which was unanimously approved.

**Findings for Approval:**

1. The proposed rezone is consistent with the general plan.
2. The proposed rezone is consistent with the surrounding properties and neighborhoods.
3. While the applicant's plans to create three estate lots through a boundary adjustment hinges on the purchase of the two remnant parcels owned by the City, the rezone application under consideration is justified on its own merits.

**ADJOURNMENT**

***Motion:***

At 7:15 p.m., **Dan Rogers** made a motion to adjourn the meeting, which was unanimously approved.

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**Rebecca Wayment**  
**Chair, Farmington City Planning Commission**



## Planning Commission Staff Report October 6, 2016

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### Item 3: Farmington Fields Plat Second Amendment

Public Hearing:	Yes
Application No.:	S-16-16
Property Address:	491 West Bourne Circle
General Plan Designation:	CMU (Commercial Mixed Use)
Zoning Designation:	CMU (Commercial Mixed Use)
Area:	1.34 Acres
Number of Lots:	2
Property Owner:	John Hansen
Agent:	John Hansen

Request: *Applicant is requesting a recommendation for plat amendment approval to split Lot 2 of the Farmington Fields Amended Subdivision.*

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#### **Background Information**

In 2015, John Hansen received site plan approval and constructed two new single story professional office buildings on property located at 491 West Bourne Circle. However, the applicant now has tenants that wish to own their building, and as a result, the applicant desires to perform a simple lot split. However, in order to subdivide the property, the plat will have to be amended. The plat was originally amended through City Council approval at their September 1, 2015 meeting so that the Mercedes Benz Dealership could be built.

Because the original site plan was approved for one lot, all utilities and improvements were installed in that manner, meaning that there is only one secondary water line, sewer line, culinary water line, and storm drain line. Additionally, both the parking lot including ingress and egress, and the storm water detention basin was designed for one lot. Now that the applicant is proposing to split the lot, these facilities that were intended for one lot will be split over two. As a solution, the applicant has established an HOA and CCRs that will govern the shared utilities and facilities. These will be recorded against the property and ensure that all maintenance and management will remain private, and will provide cross-access guaranteeing that one property owner cannot restrict access to the other. However, the City Engineer would also like to see associated easements on the plat further averting any potential issues that may arise in the future.

It bears mentioning that at site plan, there were issues with storm water: the City Engineer requested that the storm water ditch be piped per Farmington City standard. The proposed storm water pipe will be in UDOT right-of-way and will therefore require UDOT approval before moving forward. The applicant has received said approval and has piped the ditch per City standards. Additionally, the applicant entered into an extension agreement with the City for curb, gutter, and sidewalk improvements along Park Lane. The Chevron (to the east) has not completed these improvements on Park Lane because the city is not sure if Park Lane will be widened or if sidewalk will ever be completed over the Park Lane interchange. Until this occurs, city staff felt that an extension agreement makes more sense than demanding these improvements that may later need to be moved, torn-out, or altered. The extension agreement runs with the property, not John Hansen, as the current owner of the property.

**Suggested Motion:**

Move that the Planning Commission recommend that the City Council approve the plat amendment for the Farmington Fields Amended Subdivision, subject to all applicable Farmington City ordinances and development standards, and the following condition:

1. The applicant shall record the CC&Rs and Articles of Incorporation prior to recording the amended plat;
2. The applicant shall place easements on the plat prior to recordation, including but not limited to the following: storm water, shared access and parking, secondary water, and other shared utilities.

**Findings for Approval:**

1. The proposed plat amendment conforms to all of the development standards as set forth in the Farmington City Subdivision and Zoning Ordinances.
2. Any issues that arise because of splitting utilities that were intended to be for one lot have been resolved through both the recordation of the CC&Rs and the necessary easements as described in condition 2 above.
3. The extension agreement that was recorded against the property as part of the original site plan approval will remain in place and runs with the property not the owner.
4. The plat amendment does not affect or alter Parcel A in the Farmington Fields Subdivision which is desirable because it is a regional storm-water detention facility and possible wetlands; this ensures that the parcel will remain “unbuildable”.

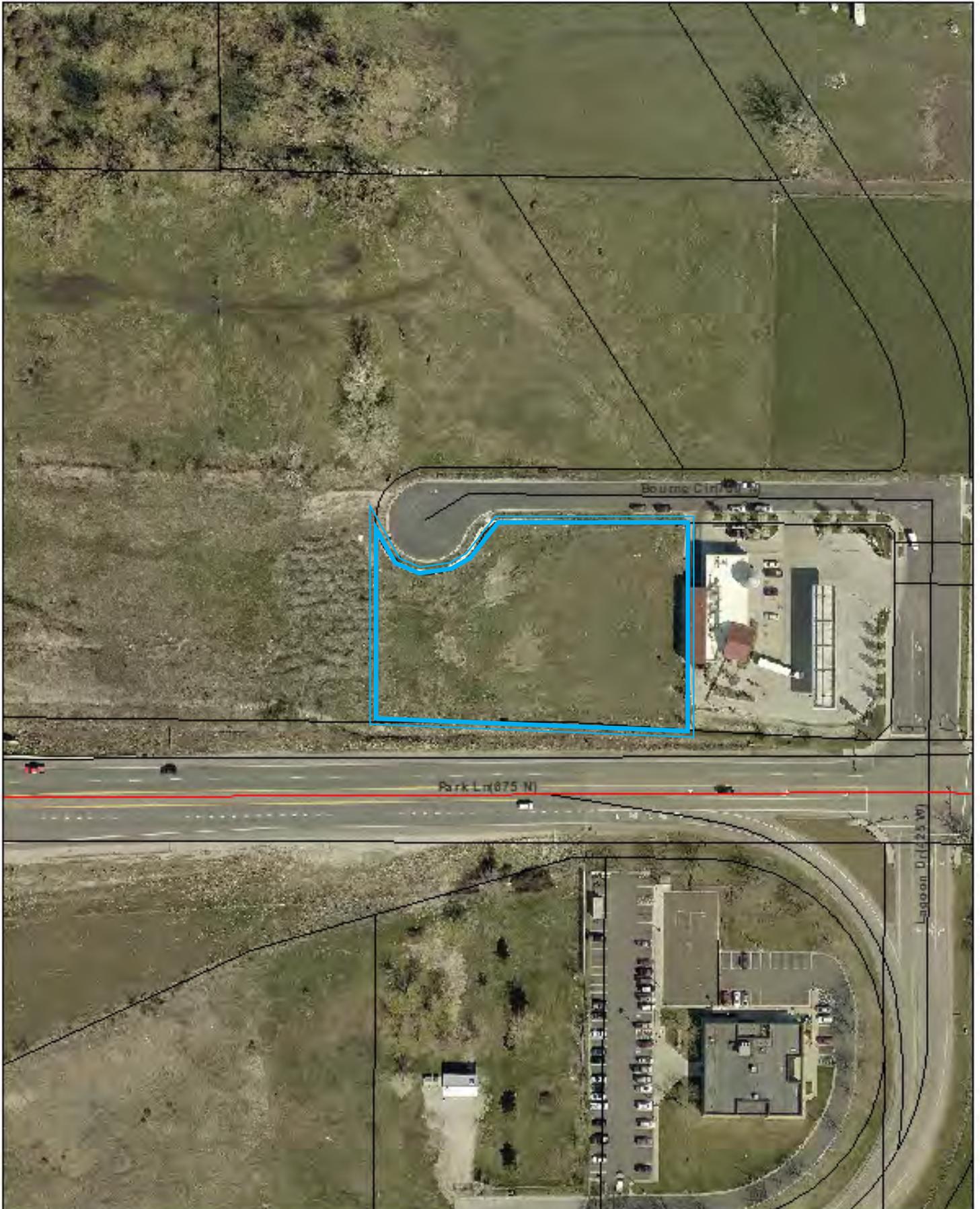
**Supplemental Information**

1. Vicinity Map
2. Farmington Fields Second Amended Plat

**Applicable Ordinances**

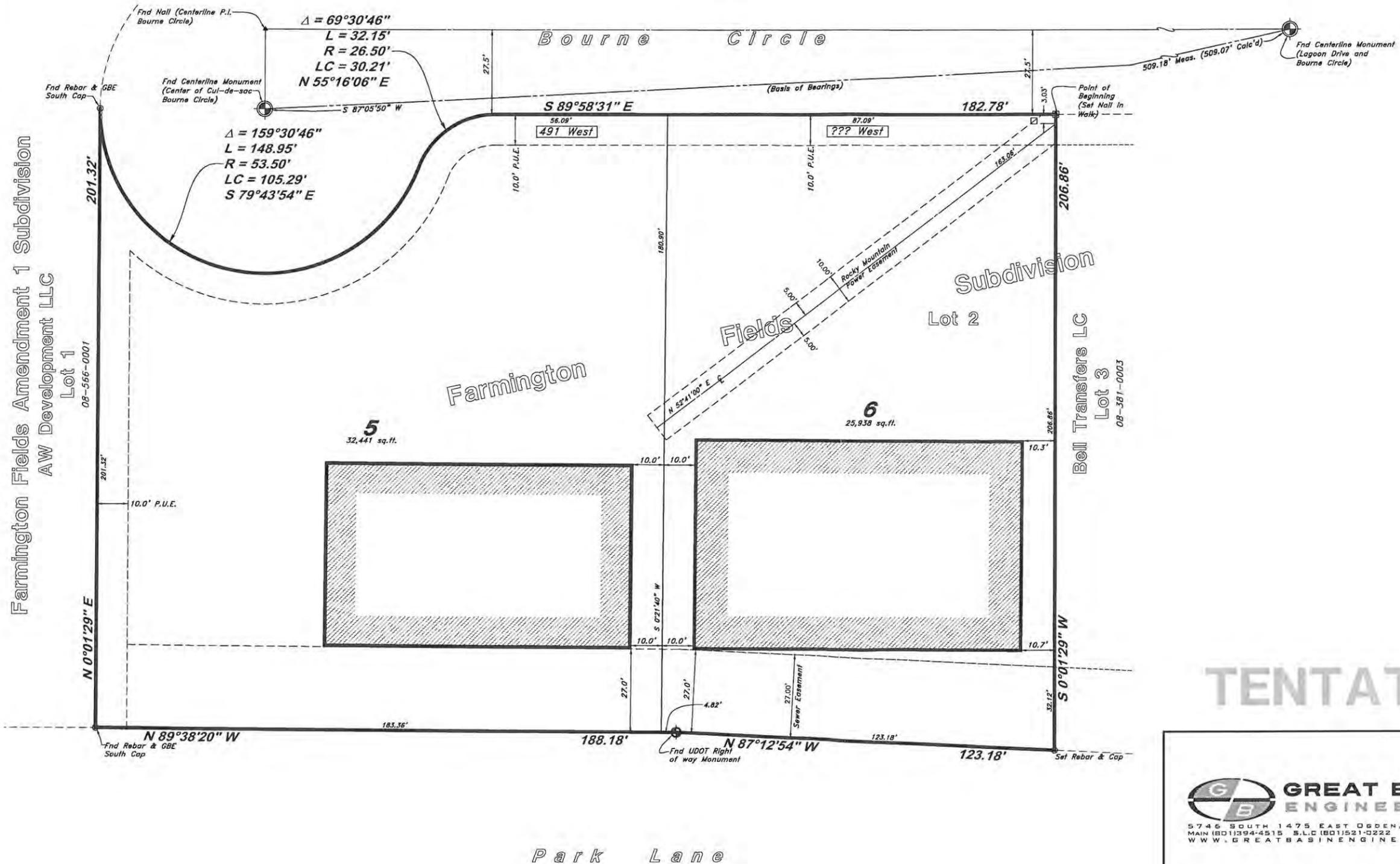
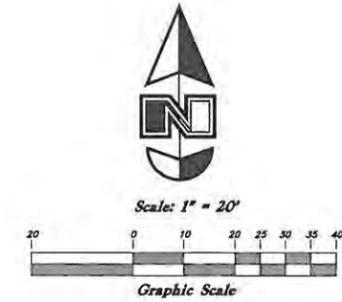
1. Chapter 7 – Site Development Standards
2. Chapter 19 –Commercial Mixed Use Zone (CMU)

# Farmington City



# Farmington Fields Subdivision - 2nd Amendment

Amending Lot 2, Farmington Fields Subdivision  
 A part of Section 13, T3N. R1W, SLB&M, U.S. Survey  
 Farmington City, Davis County, Utah  
 August 2016



- Legend**
- ▲ Set Nail & Washer
  - ⊙ Set 5/8" Rebar & Cap w/ Fencepost
  - ⊕ Set Hub & Tack
  - ⊛ Found Monuments
  - (Rad.) Radial Line
  - (N/R) Non-Radial Line
  - ▭ Building

TENTATIVE FINAL

Sheet 2 of 2

**GREAT BASIN ENGINEERING INC.**

5746 SOUTH 1475 EAST OGDEN, UTAH 84403  
 MAIN (801)394-4515 S.L.C (801)521-0222 FAX (801)392-7544  
 WWW.GREATBASINENGINEERING.COM

DAVIS COUNTY RECORDER

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
 FILED FOR RECORD AND  
 RECORDED \_\_\_\_\_ AT \_\_\_\_\_  
 IN BOOK \_\_\_\_\_ OF OFFICIAL  
 RECORDS, PAGE \_\_\_\_\_ RECORDED  
 FOR \_\_\_\_\_

DAVIS COUNTY RECORDER

BY: \_\_\_\_\_ DEPUTY \_\_\_\_\_



## Planning Commission Staff Report October 6, 2016

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### Item 4: Zone Map Amendment for the Blackhurst Property

Public Hearing:	Yes
Application No.:	Z-5-16
Property Address:	306 East 100 North
General Plan Designation:	LDR (Low Density Residential)
Zoning Designation:	OTR-F (Original Townsite Residential - Foothill)
Area:	.59 Acres
Number of Lots:	1
Property Owner:	Craig and Janica Blackhurst
Agent:	Jerry Preston – Elite Craft Homes

Request: *Applicant is requesting a recommendation to rezone .59 acres of property from OTR-F to LR-F.*

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#### **Background Information**

The applicants desires to build a large home on their property currently located in the OTR (Original Townsite Residential) zone. Because the proposed home is currently in the historic OTR zone, there are design standards and regulations for new construction that do not exist in other zones throughout the City. The proposed home does not meet these standards, particularly the garages, as they would violate Section 11-17-050(4)(b) which states:

*“Attached garages constructed even with the front setback lines, or that are setback (or recessed) from the front setback less than a distance equal to half the depth of the main building shall comprise no more than 33% of the front plan of the home on lots greater than 85 feet in width, and up to 40% on lots less than 85 feet in width if for every percentage point over 33% the garage is set back (or recessed) an additional 1.0 feet behind the front plane of the home.”*

The proposed home has five garages, two of which extend beyond the front plane of the home, and the garages comprise over 50% of the front plane of the home. Because the applicant desires to build this home and the OTR zone will not work for their plans, they are seeking a rezone to the LR (Large Residential) zone.

The subject property is at the edge of the OTR zone and is largely surrounded by LR zone properties to the north and east (with the exception of their eastern neighbor). The General Plan designation of LDR (Low Density Residential) supports either the OTR or LR zone designation.

Staff is ambivalent on this rezone application and has provided two alternative motions, one for approval and one for denial, with separate findings for each. There are pros and cons to both denial and approval, and staff wanted to lay out those arguments for each and get the Planning Commission's opinion on the matter.

Whether the rezone is approved or not, the foothill overlay zone as designated by the letter "F" would remain on this property; this ensures that the applicant will still be required to meet any additional requirements that have not already been met as part of the site plan approval process as set forth in Chapter 30 of the Zoning Ordinance.

**Suggested Alternative Motions:**

**A.** Move that the Planning Commission recommend that the City Council approve the zone map amendment of .59 acres of property located at 306 East 100 North from OTR-F to LR-F, as identified on the attached map, subject to all applicable Farmington City ordinances and development standards.

**Findings for Approval:**

1. The proposed rezone is consistent with the general plan.
2. The proposed rezone is consistent with the majority of surrounding properties and neighborhoods to the east and north.
3. The existing homes in the neighborhood are large and newer homes, and the proposed home would be consistent with the neighborhood.
4. The proposed rezone would allow the applicants the highest and best use of their property.
5. Rezones are reviewed on a case-by-case basis, and are a legislative decision; therefore, by rezoning one property it does not bind the City to do the same for a future property owner that may wish to do the same for their property. The City reviews all rezone applications on their own merits.

**B.** Move that the Planning Commission recommend that the City Council deny the zone map amendment of .59 acres of property located at 306 East 100 North from OTR-F to LR-F.

**Findings for Denial:**

1. The proposed rezone would essentially be a spot zone, although spot zones are not illegal per se, this particular rezone would "orphan" the majority of the Brown property directly to the east.
2. The proposed rezone would be inconsistent with the purpose of the OTR zone.
3. By rezoning this property, it could potentially begin to reduce the OTR zone boundaries at the edge, and set a precedent whereby other property owners within the OTR who do not wish to abide by the additional requirements and standards of the underlying zone, seek a rezone of their properties to avoid the more stringent requirements.

4. The proposed rezone would allow the applicant to skirt the more stringent design requirements of the OTR zone and build a home that is not consistent with the historic nature of the district as a whole.

**Supplemental Information**

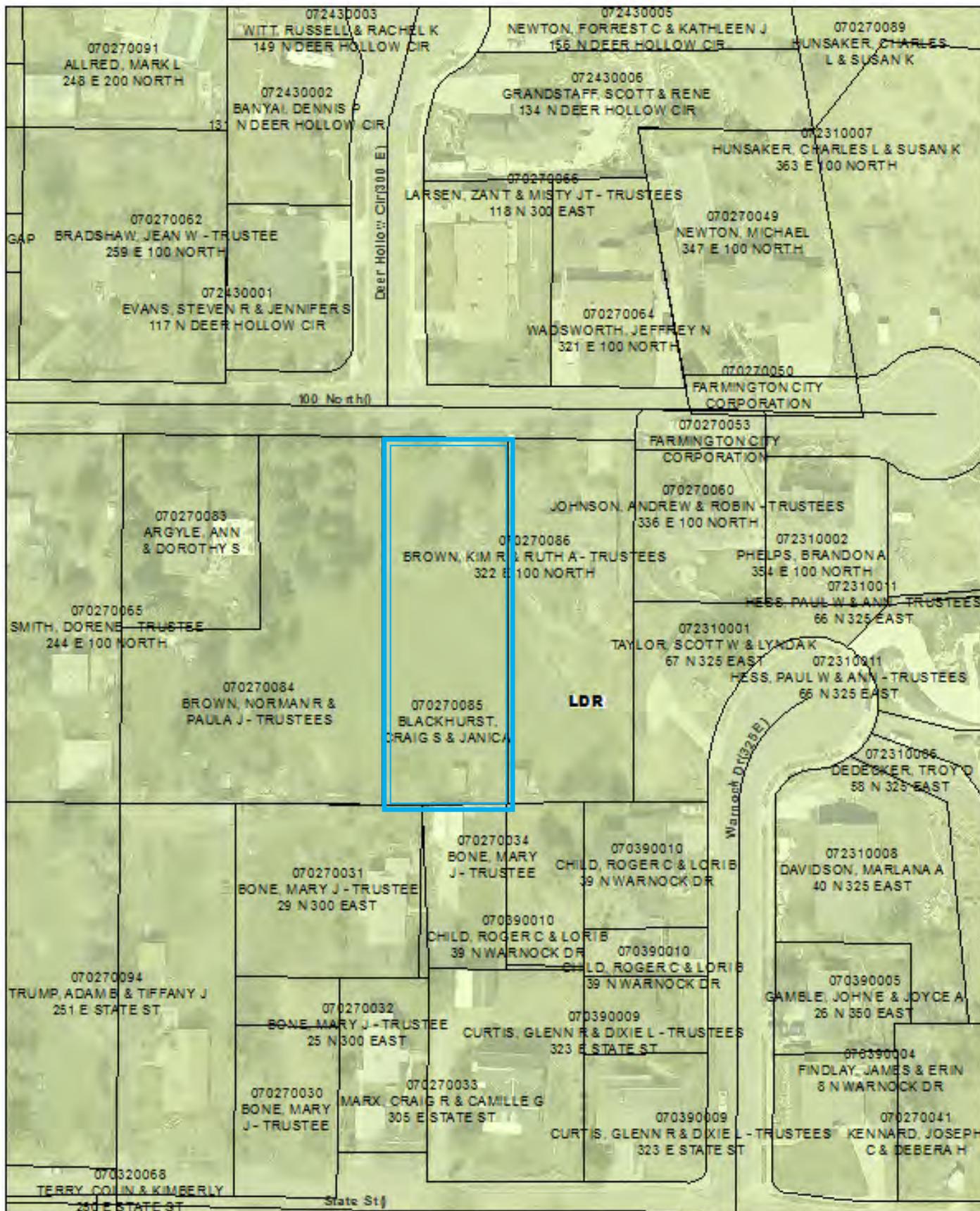
1. Vicinity Map
2. General Plan Map
3. Zoning Map
4. Proposed Site Plan
5. Proposed Elevations

**Applicable Ordinances**

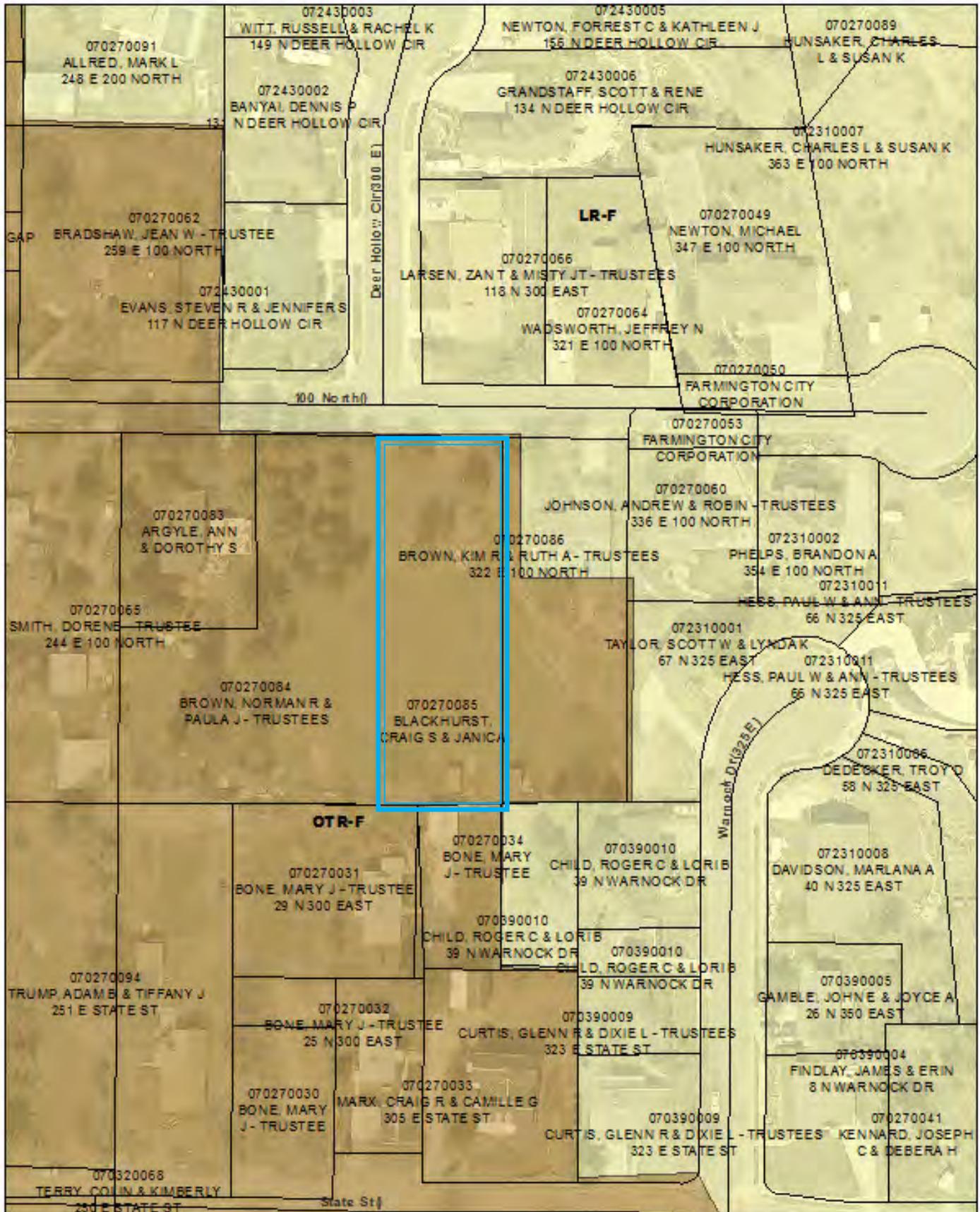
1. Title 11, Chapter 11 – Single Family Residential Zones
2. Title 11, Chapter 17 – Original Townsite Residential



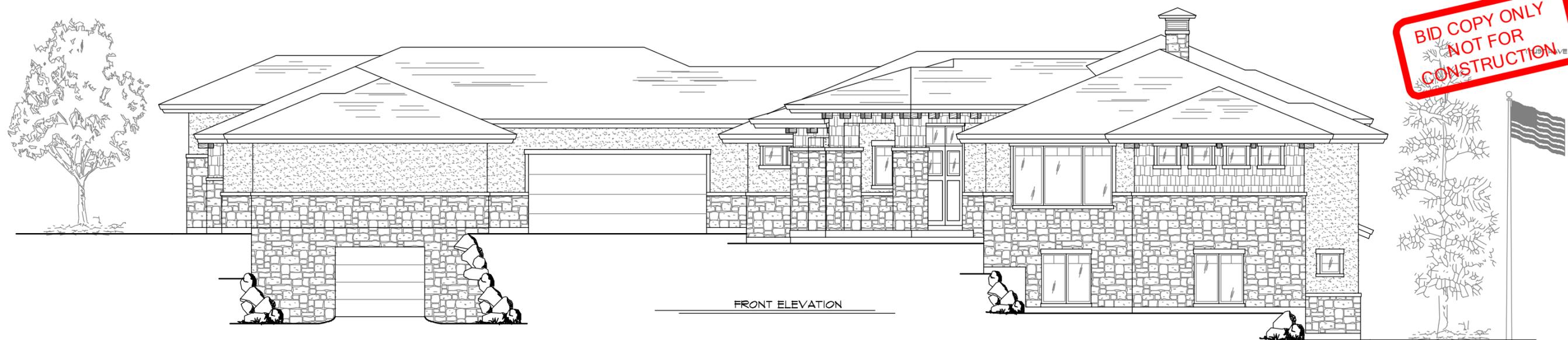
# Farmington City



# Farmington City



**BID COPY ONLY  
NOT FOR  
CONSTRUCTION**



FRONT ELEVATION

CLIENT:  
**CRAIG & JANICA BLACKHURST**

CONTRACTOR:  
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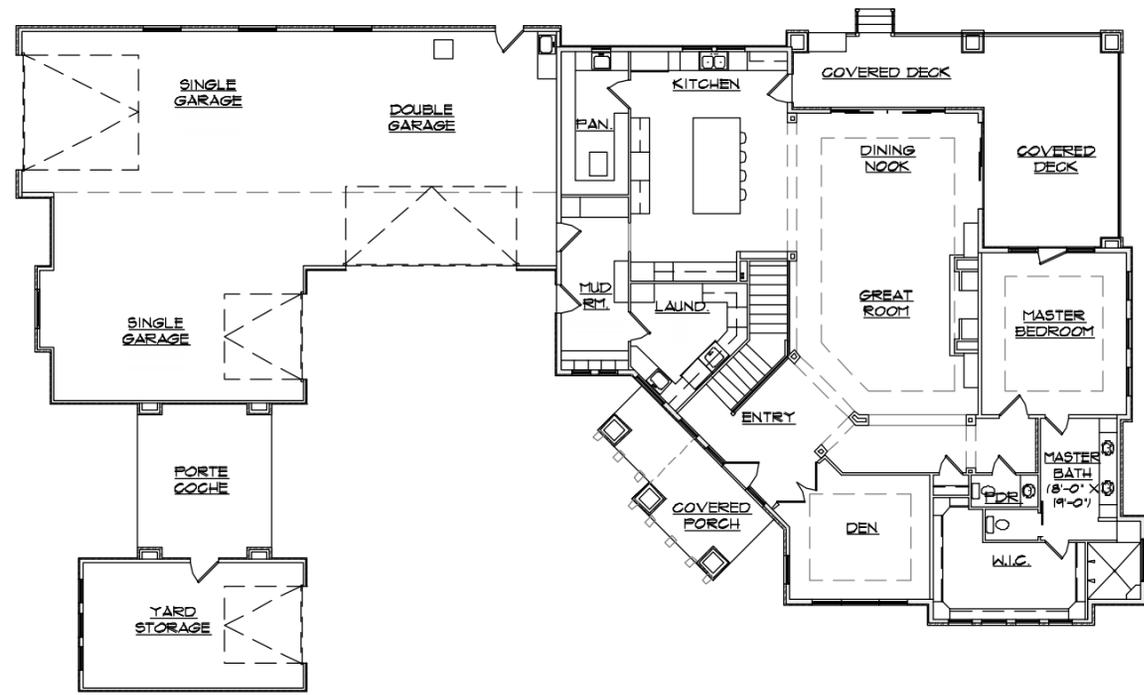
**WARNING:** ELECTRONIC FILES INCLUDING THOSE IN PDF FORMAT ARE TO BE USED FOR BIDDING PURPOSES ONLY. ANY CONSTRUCTION WORK THAT IS TO BE DONE ON THE HOME INCLUDING SITE WORK SHALL BE BASED ON APPROVED, STAMPED HARD COPY DRAWINGS OF THE MOST CURRENT REVISION ONLY.  
  
THE ABOVE MENTIONED CONTRACTOR/CUSTOMER IS AUTHORIZED BY HABITATIONS TO UTILIZE THIS PLAN TO CONSTRUCT ONE (1) HOME ONLY ON THE PROPERTY LOCATED AT THE ADDRESS INDICATED IN 'PROJECT INFORMATION'. THE CONSTRUCTING OF MULTIPLE HOMES UTILIZING THIS SET OF PLANS IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION FROM HABITATIONS AND IS A VIOLATION OF HABITATIONS PROPERTY PROTECTION RIGHTS UNDER LAW.

DESIGNER:  
  
1523 E. SKYLINE DR.  
SUITE B  
OGDEN, UT 84405  
801-476-1860



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MAIN LEVEL FLOOR PLAN

PROJECT INFORMATION

SQUARE FOOTAGE CALCULATIONS	CLIENT:	CRAIG & JANICA BLACKHURST
MAIN FLOOR	2611 SQ. FT.	TYPE: RESIDENTIAL PLAN
LOWER FLOOR	2675 SQ. FT.	ISSUE DATE: 6/24/2016
GARAGE	1811 SQ. FT.	REV. DATE:
COVERED DECK	479 SQ. FT.	LOCATION:
COVERED PORCH	144 SQ. FT.	325 EAST 100 NORTH FARMINGTON CITY, DAVIS COUNTY, UTAH

**DISCLAIMERS AND CONSTRUCTION WARNINGS:**  
THESE PLANS HAVE BEEN PREPARED TO MEET GENERALLY ACCEPTED PROFESSIONAL STANDARDS AND PRACTICES IN EFFECT AT THE TIME THEY WERE CREATED. BECAUSE LOCAL AND STATE BUILDING REGULATIONS VARY WIDELY AND ARE SUBJECT TO CHANGE, CONFORMANCE TO THE PLANS WITH THE REQUIREMENTS OF EACH SPECIFIC JURISDICTION IS IMPOSSIBLE. THEREFORE, SUPPLEMENTAL TO THESE DOCUMENTS, IT IS THE PURCHASER'S AND HIS/HER BUILDER'S RESPONSIBILITY TO KNOW AND BUILD WITH CURRENT CODES AND REGULATIONS IN THE JURISDICTION GOVERNING THE PROJECT. THE USE OF THESE PLANS IS EXPRESSLY CONDITIONED UPON THE PURCHASER'S OBLIGATION AND AGREEMENT TO STRICTLY COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND REQUIREMENTS INCLUDING, IF MANDATED BY THE STATE, THE SEAL OF AN ENGINEER REGISTERED IN THAT STATE BEFORE STARTING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE PURCHASER TO CHECK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND OTHER DETAILS. IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER TO OBTAIN ANY STRUCTURAL, LAND USE, ENERGY OR OTHER REQUIRED ANALYSIS, ENGINEERING CALCULATIONS AND ANY OTHER SPECIFICATIONS THAT MAY BE REQUIRED IN THE JURISDICTION IN WHICH THE PROJECT IS TO BE BUILT. TOPOGRAPHIC AND SUBSURFACE CONDITIONS SHOULD BE VERIFIED AND FOUNDATION PLANS ADAPTED ACCORDINGLY, AND THE MATERIAL AND EQUIPMENT MANUFACTURER'S INSTRUCTIONS MUST BE FOLLOWED. CODE GOVERN OVER DRAWINGS AND DIMENSIONS GOVERN OVER SCALE. ANY USE OF THIS INFORMATION WITHOUT ADAPTATION TO CHANGES AND CODES, STANDARDS, SITE CONDITIONS AND OTHER FACTORS IS AT THE PURCHASER'S SOLE RISK. HABITATIONS HOME PLANS, ITS PARENT COMPANY, OFFICERS, EMPLOYEES, AND AGENTS DISCLAIM ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING MERCHANTABILITY OR FITNESS OF PURPOSE. PLAN PURCHASER AGREES THAT HABITATIONS HOME PLANS SHALL NOT BE LIABLE FOR DIRECT, INCIDENTAL, SPECIAL, CONSEQUENTIAL OR INDIRECT DAMAGES OF ANY KIND, INCLUDING, BUT NOT LIMITED TO, LOSS OF ANTICIPATED PROFITS, BUSINESS OPPORTUNITY, OR OTHER ECONOMIC LOSS ARISING OUT OF THE USE OF THE PLANS. HABITATIONS HOME PLANS ASSUME NO RESPONSIBILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS. THE PURCHASER AGREES TO DEFEND AND INDEMNIFY HABITATIONS HOME PLANS FOR ALL CLAIMS, COSTS, LOSSES OR DAMAGES RESULTING FROM THE USE OF THIS INFORMATION.

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CODE: IRC 2012

PLAN NUMBER:	R2671	SHEET NUMBER:	1 OF 16
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**SITE PLAN**  
 325 EAST 100 NORTH  
 FARMINGTON CITY, DAVIS COUNTY, UTAH

SCALE: 1" = 10'-0"  
 Area = 24,262 Sq. Ft. = 0.56 ACRE

**LINETYPE LEGEND**

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- HOME FOOTPRINT
- PROPOSED CONT.
- 10' CONT. LINE
- 2' CONT. LINE
- → → DIRECTIONAL DRAINAGE ARROWS

**PLEASE NOTE:**

1. SITE PLAN IS SHOWN FOR INFORMATION ONLY. OWNER /CONTRACTOR SHALL HAVE RESPONSIBILITY TO DETERMINE GRADES AND FINAL PLACEMENT AND ELEVATIONS OF FOOTINGS/FOUNDATIONS AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL STATE, NATIONAL, AND LOCAL BUILDING CODES & ORDINANCES.
2. THIS SITE PLAN IS A REPRESENTATION OF CONCRETE FOUNDATIONAL BUILDING FOOTPRINT ONLY. ALL SETBACK INFORMATION SHOWN IS TO CONCRETE FOUNDATION WALLS ONLY. SITE PLAN DOES NOT INDICATE THE LOCATION OF ROOF OVERHANGS OR CANTILEVERS (WALL POPOUTS OR FLOOR OVERHANGS) OR OTHER ARCHITECTURAL ELEMENTS THAT MAY PENETRATE THE PROPERTY SETBACKS OR EASEMENTS. THE PLAN COUNTY, CITY OR OTHER JURISDICTION REVIEWER, CONTRACTOR AND OWNER SHALL REVIEW ALL PLAN SUBMITTAL DRAWINGS (FLOOR PLANS, ELEVATIONS, DETAILS, ETC..) IN CONJUNCTION WITH THE SITE PLAN TO IDENTIFY ANY PROPOSED WALL CANTILEVERS OR OTHER FEATURES THAT MAY ENCROACH INTO SETBACKS AND SHALL REPORT ANY CONCERNS TO THE DESIGNER PRIOR TO EXCAVATION AND/OR CONSTRUCTION.

1. ALL STORM WATER AND DIRT WILL BE KEPT ON SITE DURING CONSTRUCTION UNTIL FINAL LANDSCAPING IS DONE.
2. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (5%).
3. STREET CURB AND GUTTER WILL BE INSPECTED AND CLEANED OF ALL MUD AND DIRT AT THE END OF EVERY DAY.
4. GRAVEL BAGS (OR EQUIVALENT) TO BE PLACED AND MAINTAINED AROUND ANY STORM DRAIN INLET ADJACENT TO OR IMMEDIATELY DOWNSTREAM FROM SITE DURING CONSTRUCTION.
5. BERMS OR SHALES MAY BE REQUIRED ALONG PROPERTY LINES TO PREVENT STORM WATER FLOW ONTO ADJACENT LOTS. FINAL GRADING SHALL BLEND WITH ADJACENT LOTS.
6. ALL REAR DRAINAGE TO BE RETAINED ON THE PROPERTY.
7. FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS.
8. LONG-TERM DRAINAGE CONTROL BY STANDARD RESIDENTIAL LANDSCAPING, INCLUDING GRASS, TREES AND BUSHES AND AN AUTOMATIC SPRINKLER SYSTEM.
9. A LINED CONCRETE WASHOUT AREA MUST BE PROVIDED AT THE SITE FOR ALL CONCRETE, PAINT, STUCCO, OR MASONRY WORK. WASHOUT ON THE GROUND IS PROHIBITED.

**SWPPP INFORMATION**

1. HOW MUCH AREA WILL BE DISTURBED? APPROX. 11K SQ. FT. OF THE LOT. JUST OVER 45% OF THE ENTIRE LOT AREA.
2. WHO WILL BE RESPONSIBLE FOR THE CONDITIONS OF THE SITE DURING CONSTRUCTION?
3. WHAT WILL BE DONE TO PREVENT THE NEIGHBORS FROM BEING AFFECTED BY THE PROPOSED CONSTRUCTION ACTIVITIES? THE SITE INCLUDING THE STREET, ETC. WILL BE CLEANED OF MUD AND DEBRIS DAILY.
4. WHAT WILL BE DONE WITH ALL EXCAVATED MATERIAL TEMPORARILY AND PERMANENTLY? ALL MATERIAL WILL BE USED ON SITE FOR LANDSCAPING AND SHAPING OF THE LAND AFFECTED.
5. WHERE IS THE CONCRETE WASHOUT AND HOW WILL IT BE MAINTAINED? CONCRETE WASHOUT AREA SHOWN ON SITE PLAN, SEE NOTES ABOVE.
6. WHERE ARE THE PORTA-JOHN'S LOCATED AND HOW ARE THEY INSTALLED? SEE SITE PLAN FOR LOCATION AND THEY ARE STAND ALONE UNITS AND WILL BE DELIVERED AND PICKED UP FOR SERVICE AND INSTALLATION.
7. HOW WILL THE CONSTRUCTION ENTRANCE BE BUILT AND WHERE WILL IT BE LOCATED? THE ENTRANCE WILL BE BUILT WHERE THE PROPOSED DRIVEWAY LOCATION IS SHOWN. IT WILL CONSIST OF GRAVEL ROAD BASE FROM THE RIGHT OF WAY AND BE AT LEAST 40 FEET LONG TO REDUCE MUD AND DEBRIS FROM TRACKING OUT TO THE RIGHT OF WAY.
8. WHAT WILL YOU DO WHEN MUD AND/OR DIRT GETS TRACKED ON THE ASPHALT? IT WILL BE SCRAPPED AND SWEPT DAILY.
9. IS THERE A DRAINAGE DITCH OR SHALE ON OR NEAR YOUR PROPERTY? IF SO HOW WILL IT BE PROTECTED? THERE IS A DRAINAGE EASEMENT ON THE PROPERTY. STAKED STRAW WATTLES AND A SILT FENCE WILL BE INSTALLED ON THE CONSTRUCTION SIDE OF THE EASEMENT TO ENSURE DEBRIS WILL NOT ENTER OR AFFECT THE EASEMENT.
10. WHAT CURRENTLY HAPPENS TO THE RAIN/STORM WATER WHEN IT REACHES THIS PROJECT SITE? STORMWATER REACHING THIS SITE IS ABSORBED INTO THE VEGETATION AND GROUND.
11. SHOW ALL EXISTING OCCUPATION ON THE PROPERTY. NO EXISTING OCCUPATION CURRENTLY EXISTS ON THE PROPERTY.

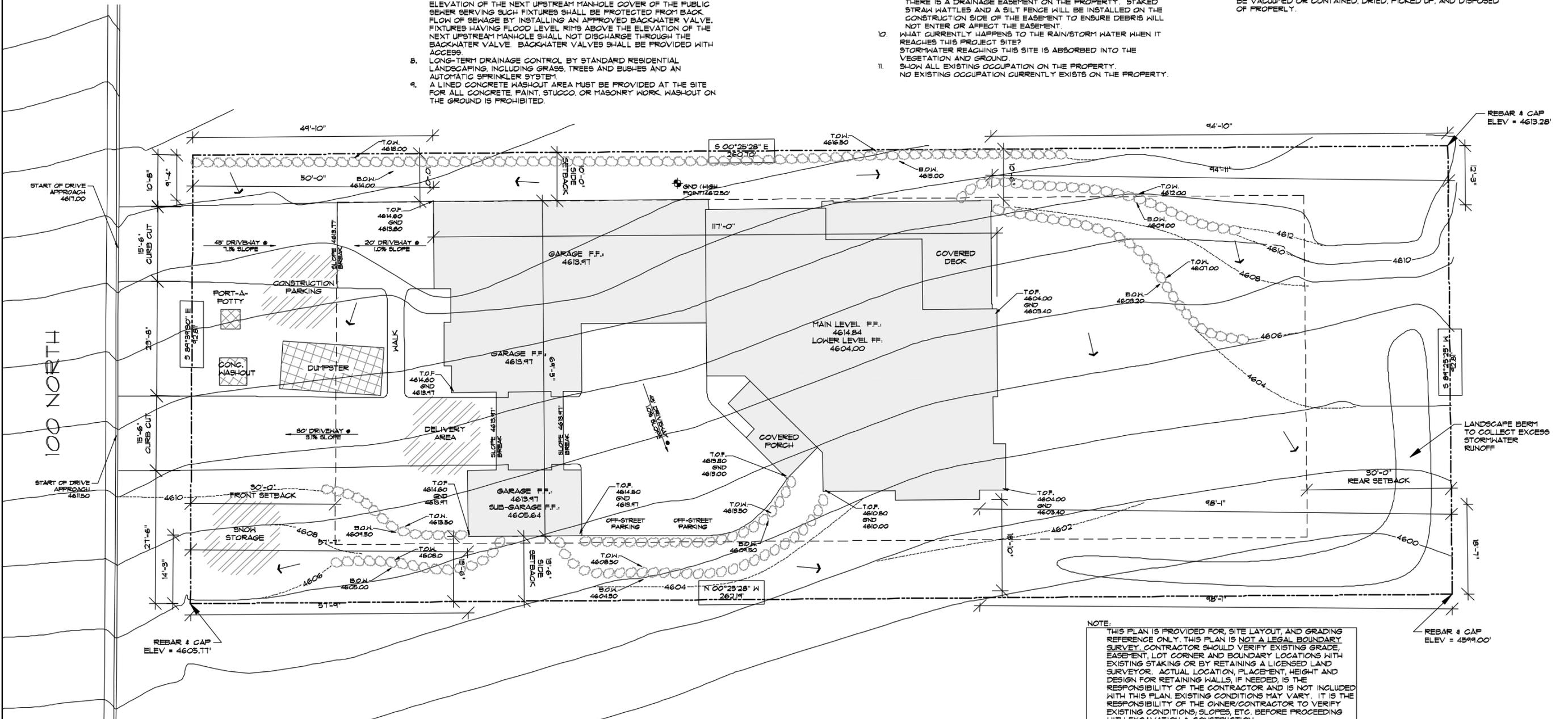
BID COPY ONLY  
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 CONSTRUCTION



**CONCRETE WASTE MANAGEMENT**

**NOTES:**

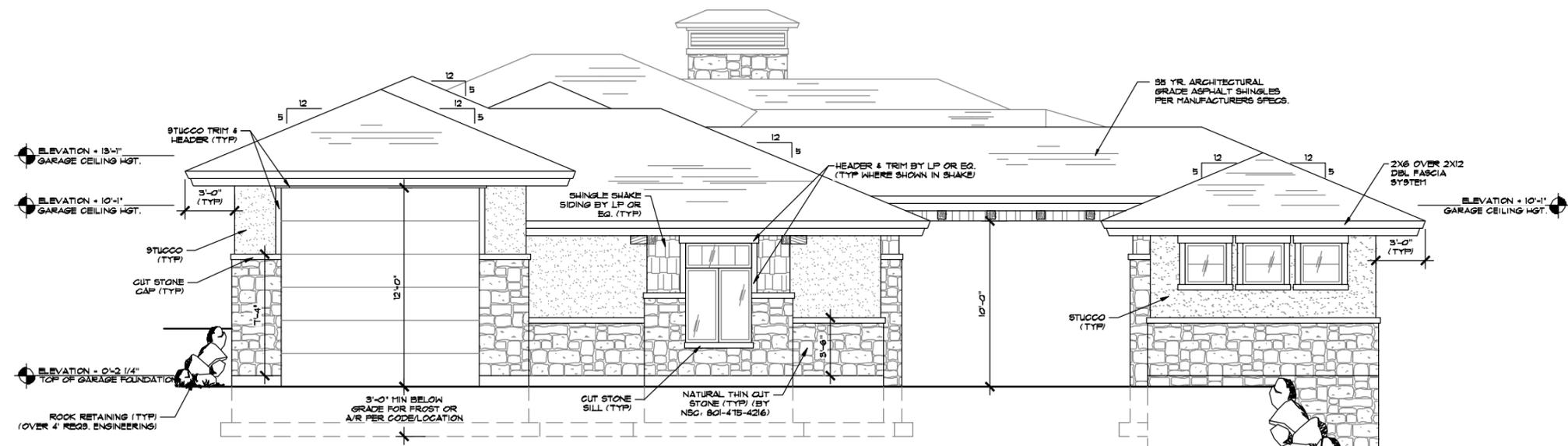
1. EXCESS AND WASTE CONCRETE SHALL NOT BE WASHED INTO THE STREET OR INTO A DRAINAGE SYSTEM.
2. FOR WASH-OUT OF CONCRETE AND MORTAR PRODUCTS, A DESIGNATED CONTAINMENT FACILITY OF SUFFICIENT CAPACITY TO RETAIN LIQUID AND SOLID WASTE SHALL BE PROVIDED ON SITE. THIS DISCHARGE AREA MUST BE LINED WITH AN IMPERMEABLE BARRIER.
3. SLURRY FROM CONCRETE AND ASPHALT SAW CUTTING SHALL BE VACUUMPED OR CONTAINED, DRIED, PICKED UP, AND DISPOSED OF PROPERLY.



**NOTE:** THIS PLAN IS PROVIDED FOR SITE LAYOUT AND GRADING REFERENCE ONLY. THIS PLAN IS NOT A LEGAL BOUNDARY SURVEY. CONTRACTOR SHOULD VERIFY EXISTING GRADE, EASEMENT, LOT CORNER AND BOUNDARY LOCATIONS WITH EXISTING STAKING OR BY RETAINING A LICENSED LAND SURVEYOR. ACTUAL LOCATION, PLACEMENT, HEIGHT AND DESIGN FOR RETAINING WALLS, IF NEEDED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS NOT INCLUDED WITH THIS PLAN. EXISTING CONDITIONS MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY EXISTING CONDITIONS, SLOPES, ETC. BEFORE PROCEEDING WITH EXCAVATION & CONSTRUCTION.

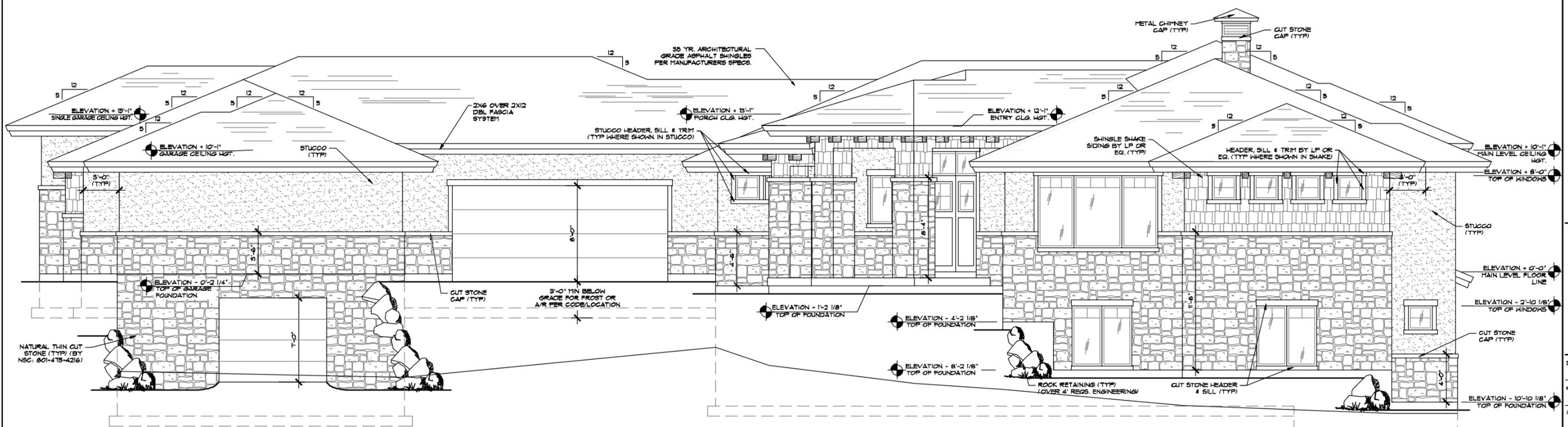
CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND REQUIREMENTS AT THE JOB SITE. THIS PLAN IS NOT A LEGAL BOUNDARY SURVEY. CONTRACTOR SHOULD VERIFY EXISTING GRADE, EASEMENT, LOT CORNER AND BOUNDARY LOCATIONS WITH EXISTING STAKING OR BY RETAINING A LICENSED LAND SURVEYOR. ACTUAL LOCATION, PLACEMENT, HEIGHT AND DESIGN FOR RETAINING WALLS, IF NEEDED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS NOT INCLUDED WITH THIS PLAN. EXISTING CONDITIONS MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY EXISTING CONDITIONS, SLOPES, ETC. BEFORE PROCEEDING WITH EXCAVATION & CONSTRUCTION.

VOICE: 801-476-1860  
 FAX: 801-476-1828  
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**HABITATIONS**  
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 SHEET TITLE: **SITE PLAN**  
 SHEET NUMBER: **3 of 16**  
 DRAWN BY: T. RICKS  
 CHECKED BY: M. STEELE  
 ISSUE DATE: 6/24/2016  
 PLAN NUMBER: R2671



FRONT ELEVATION  
SCALE: 1/4"=1'-0"

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RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND REQUIREMENTS AT THE JOB SITE. SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

VOICE: 801-476-1860  
FAX: 801-476-1828

**HABITATIONS**  
RESIDENTIAL DESIGN GROUP

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FRONT / RIGHT SIDE ELEVATIONS

SHEET TITLE

20X36 SHEET, 1/4" = 1'-0"  
12X18 SHEET, 1/8" = 1'-0"

DRAWN BY:  
T. RICKS

CHK'D BY:  
M. STEELE

ISSUE DATE:  
6/24/2016

PLAN NUMBER:  
R2671

SHEET NUMBER:  
4 of 16





## Planning Commission Staff Report October 6, 2016

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### Item 5: Zone Map Amendment for Hughes Property

Public Hearing:	Yes
Application No.:	Z-2-16
Property Address:	Approximately 600 South 1525 West
General Plan Designation:	DR (Development Restricted, Agriculture Open Space)
Zoning Designation:	AA (Agricultural Very Low Density)
Area:	31.79 Acres
Number of Lots:	1
Property Owner:	Flatrock LC / Jonathan Hughes
Agent:	Chase Freebairn – Ivory Homes

Request: *Applicant is requesting a recommendation to rezone 31.79 acres of property from AA to AE and amend the General Land Use Plan designation from DR to RRD.*

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#### **Background Information**

The applicant desires to develop 31.79 acres of property located at approximately 600 South and 1525 West. However, the current zoning designation of AA (Agriculture – Very Low Density) has a minimum lot size of 10 acres, and therefore the applicant could only get a maximum of 3 lots on the property. If the applicant were to do a conservation subdivision, he would have to provide a yield plan showing 5 acre lots, and then set aside 40% open space and have a lot size average of 2.5 acres in the actual subdivision. These scenarios do not provide enough density for what the applicant is proposing, and therefore the applicant is seeking a rezone, and a related general land use plan amendment.

When the development restricted zone and general plan designation were established, the City used the 4218 line as a demarcation boundary between very low density and the higher agricultural densities (as determined by the A and AE zone). This line was not established arbitrarily, it was used because it was 1' higher than the known highest point of the Great Salt Lake's wave action in 1983. Everything below this elevation line is development restricted and everything above it can develop at A and AE densities. Several months ago, the applicant and the County Surveyor appeared before the Planning Commission and City Council (as a discussion item only) regarding the 4218 elevation line, and how it does not line up with where the City currently has the 4218 line. When the City established the 4218 line, it used old datum that was the best available at the time, but has since proven to be faulty. This notwithstanding, the current zone of AA, regardless of why and how it was established, exists and the applicant will need to rezone the property in order to move forward with their subdivision plans.

City staff is opposed to this rezone at this time. Staff feels that the development restricted zone has served the City well and provided a conservation buffer between the City and the Great Salt Lake. Additionally, staff feels that until the record of decision determining the final route of the West Davis Corridor (WDC) occurs, there are too many unknowns regarding this area. Notably, if the record of decision alignment matches the documented preferred alternative, then the WDC will be west of this property and will create a new development restriction boundary. In other words, at the time when the record of decision for the WDC is made, the City may consider amending its general plan and zoning map for everything east and north of the WDC and leave everything west and south of the freeway as development restricted. But until we have more clarity regarding the WDC's final alignment, staff recommends keeping this area as it is presently zoned.

Lastly, if the property is not rezoned, the applicant still has the option to achieve the requested densities as proposed through a conservation subdivision and a TDR transaction to receive additional rooftops. While the developer would prefer to get the rezone so that he could develop at AE densities without a TDR, it may benefit the City more to use the required open space and move it to the regional park through a TDR transaction.

**Suggested Motion:**

Move that the Planning Commission recommend that the City Council deny the zone map amendment from AA to AE and deny the general land use map amendment from DR to RRD of 31.79 acres of property located at 600 South 1525 West.

**Findings for Denial:**

1. The proposed rezone is inconsistent with the general plan.
2. The proposed rezone is inconsistent with the surrounding properties and neighborhoods.
3. While the current development restriction line established by the elevation line of 4218 may be erroneous, the boundary has heretofore served the City well and provides a buffer between the City and the lake.
4. Until more clarity regarding the final WDC alignment is given, rezoning any properties currently in the AA zone could
5. The applicant can still get the proposed densities requested in the concept plan through utilizing TDRs.

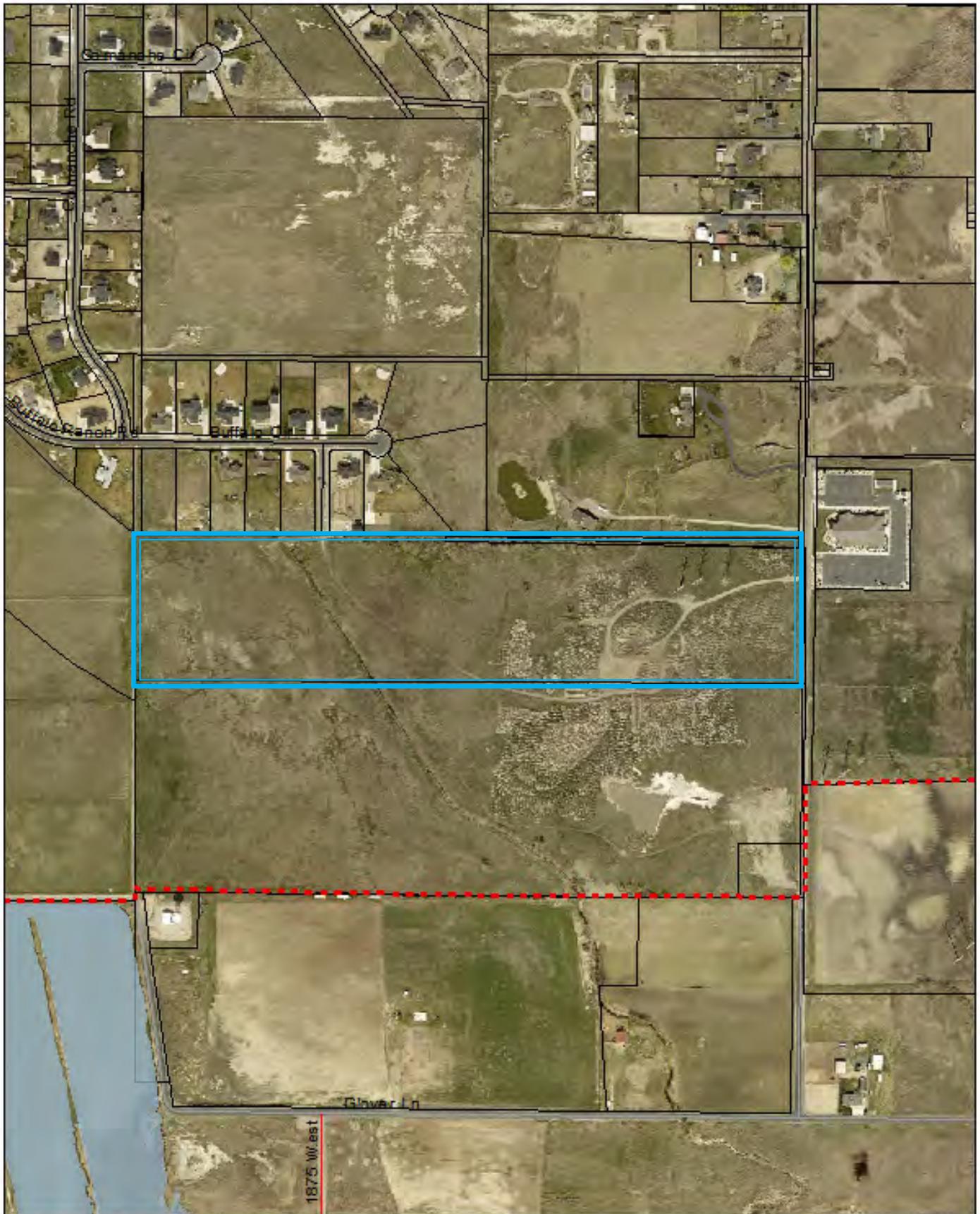
**Supplemental Information**

1. Vicinity Map
2. General Plan Map
3. Zoning Map
4. Concept Subdivision Plan
5. County Elevation Map – Illustrating the Location of the 4218 Elevation Line
6. FEMA Flood Map

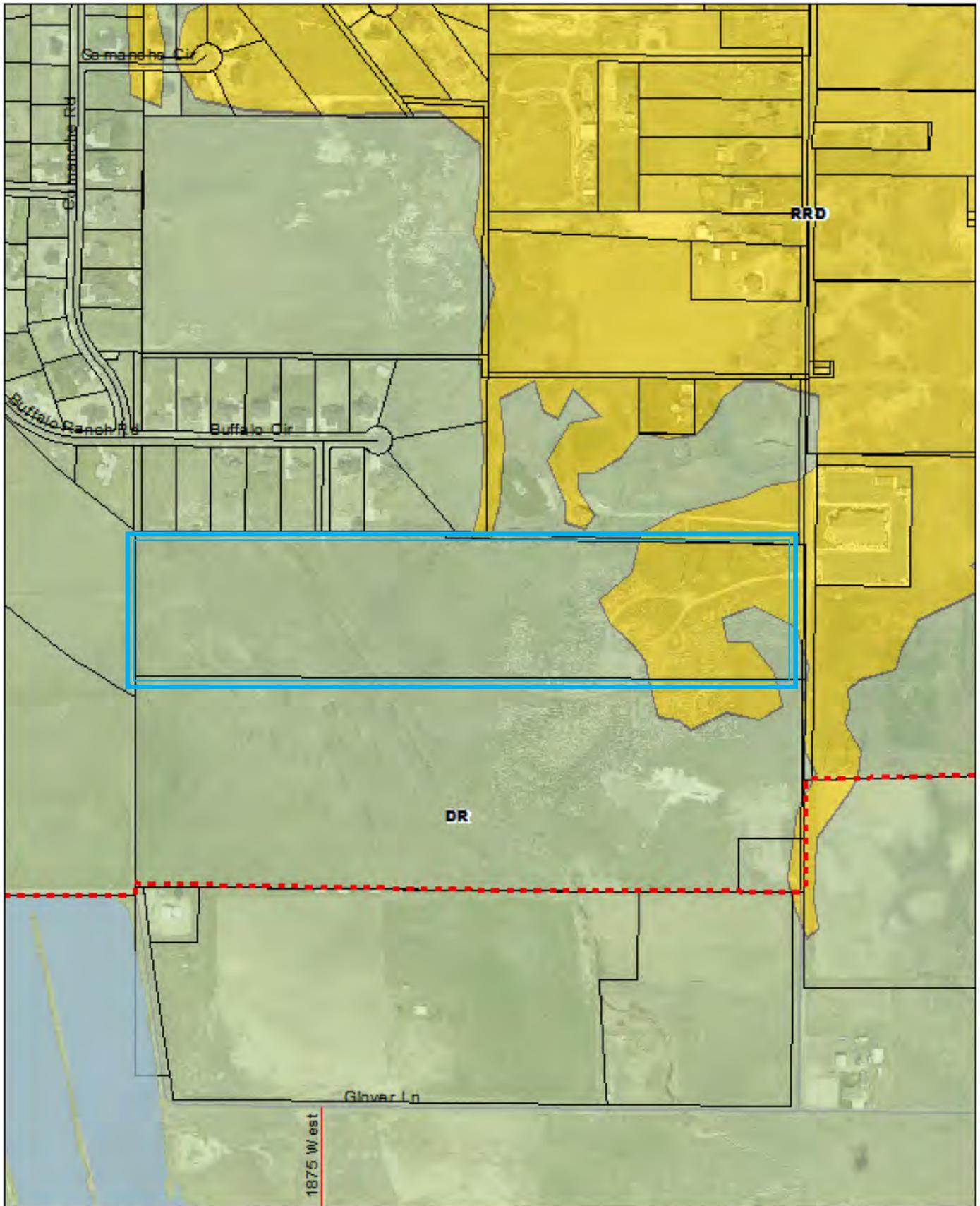
**Applicable Ordinances**

1. Title 11, Chapter 10 – Agriculture Zones

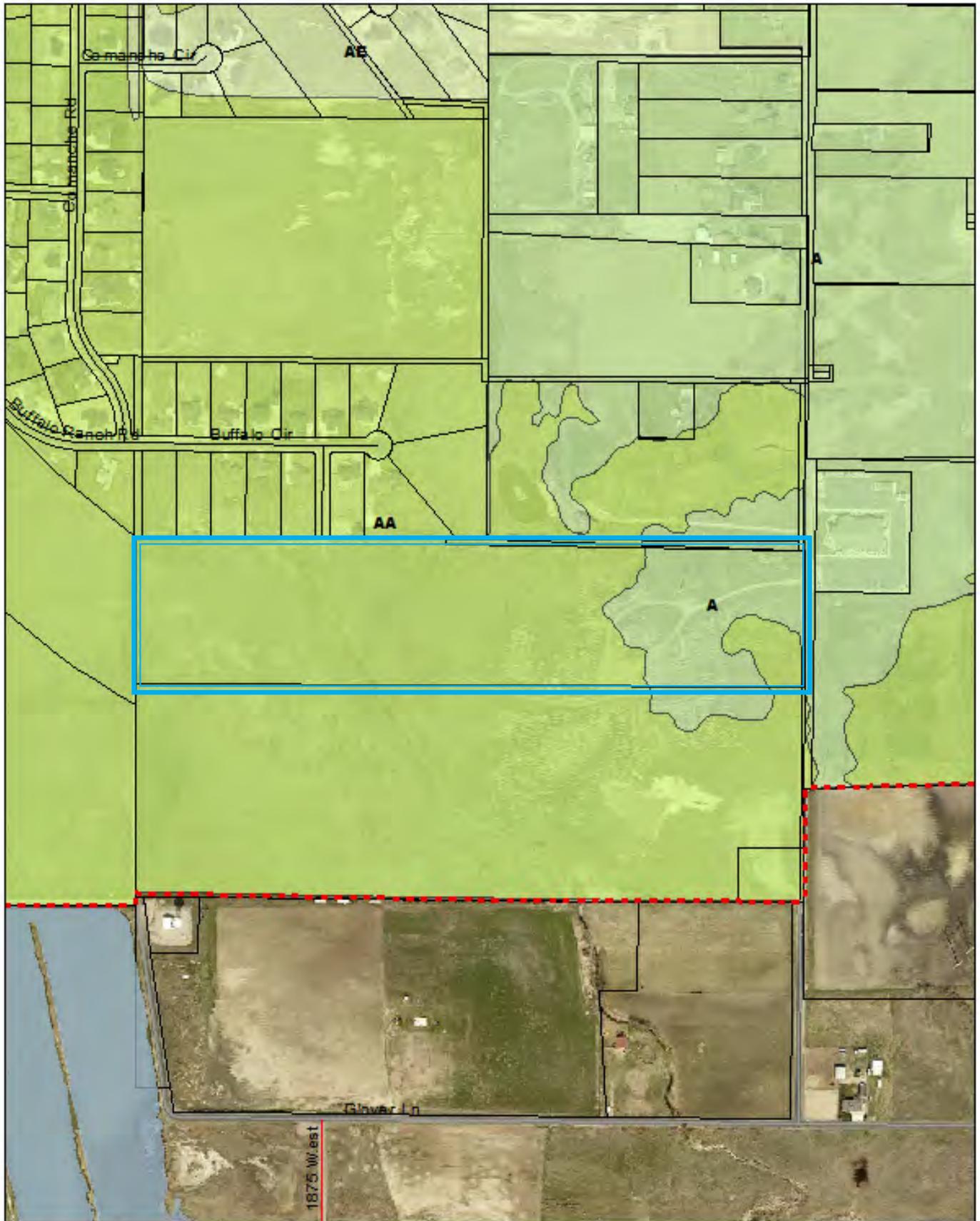
# Farmington City

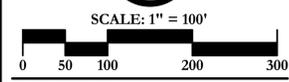


# Farmington City



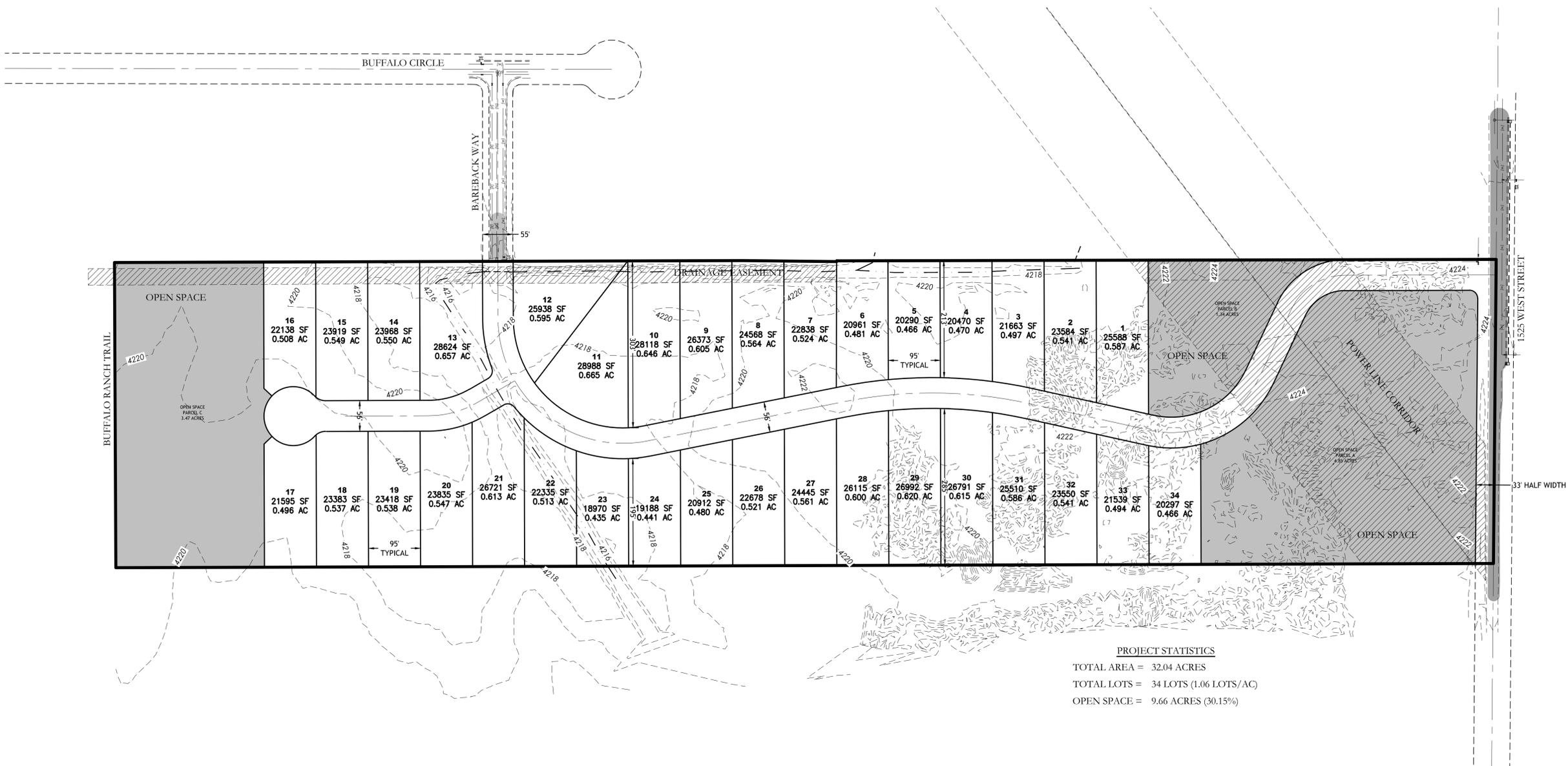
# Farmington City



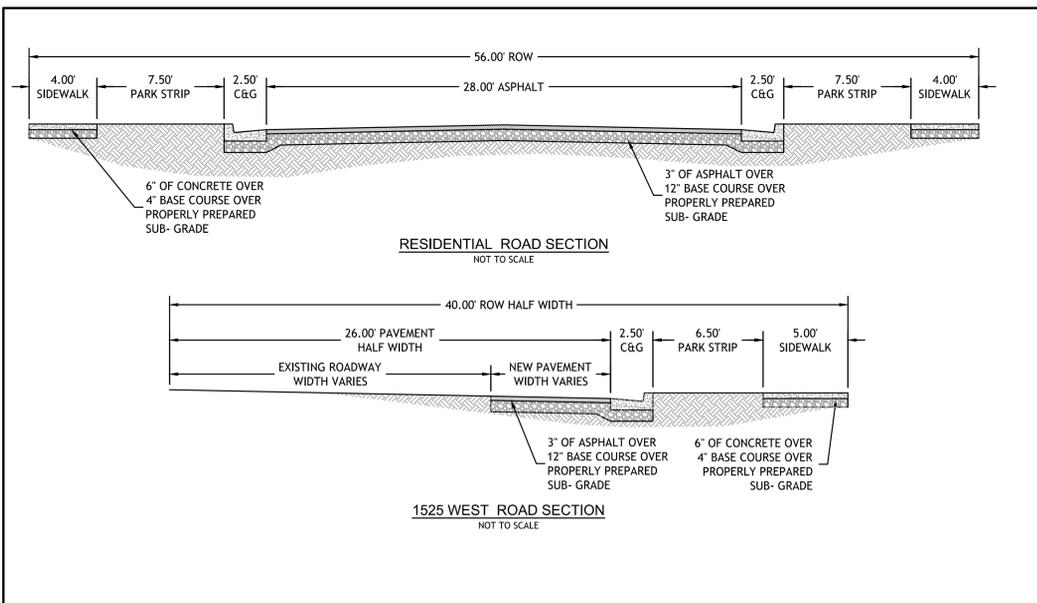
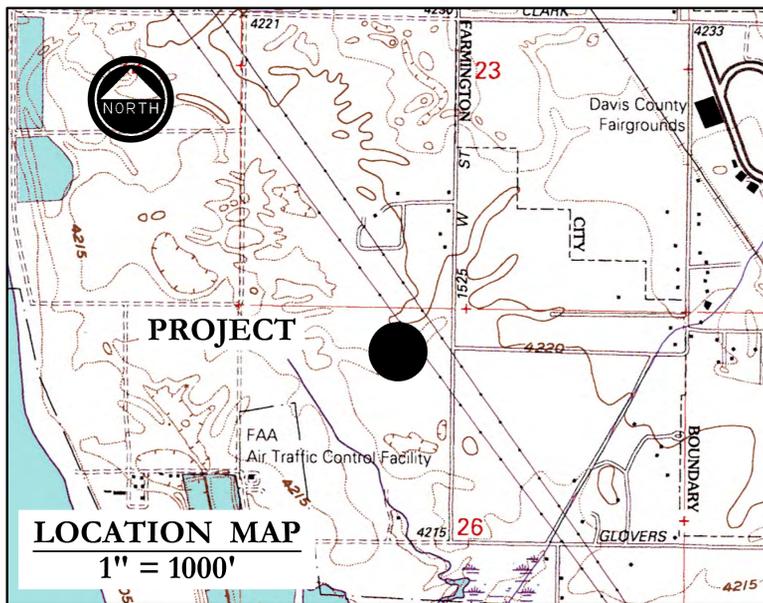


DEVELOPER:  
Ivory Development  
978 East Woodoak Lane  
Salt Lake City, UT 84117  
801-747-7000

- NOTES:
- All sanitary sewer improvements shall conform with the standards and specifications of Central Davis Sewer District.
  - All culinary water improvements shall conform with the standards and specifications of Farmington City.
  - All secondary water improvements shall conform with the standards and specifications of Weber Basin Water Conservancy District.
  - All improvements in the public right of way shall conform with the standards and specifications of Farmington City.
  - All private improvements shall conform to APWA standards and specifications.
  - Contractor to field locate and verify the horizontal and vertical location of all utilities prior to beginning work.



PROJECT STATISTICS  
TOTAL AREA = 32.04 ACRES  
TOTAL LOTS = 34 LOTS (1.06 LOTS/AC)  
OPEN SPACE = 9.66 ACRES (30.15%)



**Hughes Parcel**  
**600 South 1525 West**  
Concept Plan

PROJECT:	1611
DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: August 18, 2016  
SHEET NUMBER: **O-1**

C:\Users\Nick.Dimploh\Nick.Mingoli\Projects\Farmington - Hughes\Drawings\Schematic Plan.dwg



ZONE AE  
(EL 4218)

# FARMINGTON CITY

ZONE AE  
(EL 4218)

ZONE AE  
(EL 4218)

FLOODING EFFECTS  
FROM GREAT SALT LAKE

ZONE AE  
(EL 4218)

SCALE  
AS NOTED  
1" = 1 MILE



**FEMA FIRM MAP  
4218 ZONE AE**  
FARMINGTON CITY  
A PART OF THE NORTHWEST QUARTER OF SECTION 26, T4N, R11W, S184M, U.S. SURVEY  
FARMINGTON CITY, DAVIS COUNTY, UTAH

Drawn by: **MAX B. ELLIOTT**  
Checked by: **Davis County Surveyor's Office**  
Date: 04/08/2016

AREA OF MINIMAL FLOOD HAZARD Zone X

This is an aerial photograph overlaid with flood zone data. The map is divided into three main color-coded regions: a light blue area on the left, a large red area in the upper right, and a teal area in the lower right. A white outline traces a path through the map, possibly representing a road or a specific boundary. A small inset image shows a house, and a blue line is visible on the right edge.

Zone AE  
(EL 4218 Feet)

Zone A