



HISTORIC BEGINNINGS • 1847

## **Farmington City Planning Commission**

**September 17, 2020**



## AGENDA PLANNING COMMISSION MEETING

**September 17, 2020**

Public Meeting at the Farmington City Hall, 160 S. Main Street, Farmington, Utah.

Study Session: 6:30 p.m. **Regular Session: 7:00 p.m.**

*Farmington City Planning Commission meetings, including this meeting, are open to the public. In consideration of the COVID-19 pandemic, if necessary, members of the public wishing to attend this meeting are encouraged to view the meeting online. In the event this occurs, the link to view the hearings live and to comment electronically can be found on the Farmington City website at [www.farmington.utah.gov](http://www.farmington.utah.gov). In-person attendance is also an alternative, but any in-person attendance/gathering will meet the latest governmental restrictions related to the COVID-19 virus. If you wish to email a comment for any of the listed public hearings, you may do so at [crowe@farmington.utah.gov](mailto:crowe@farmington.utah.gov) by 5 p.m. on the day of.*

- 7:00
1. Minutes
  2. City Council Meeting Report

### SUBDIVISIONS/ZONING AMENDMENTS

- 7:05
3. Jacob Ballstaedt/Adam Nash (Public Hearing) – Applicant is requesting a recommendation for Schematic subdivision Plan and Preliminary PUD Master Plan approval for the proposed Fiore Townhomes Planned Unit Development (PUD) subdivision, consisting of 30 lots on 2.65 acres of property located at the South East corner of 1525 West and Clark Lane and a zone change of the property from AE PUD (Agriculture Estates Planned Unit Development) to BR PUD (Business Residential Planned Unit Development). (S-17-20 and Z-10-20)

### OTHER BUSINESS

- 7:45
4. Miscellaneous, correspondence, etc.
    - a. Possible SPARC (Site Plan and Architectural Review Committee) report/discussion for
      1. The Station PUD
      2. Park & Main
    - b. Other

*Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to take action on the item; OR 2. If the Planning Commission feels, there are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.*

Posted September 14, 2020

Carly Rowe  
Planning/Recording Secretary

**FARMINGTON CITY  
PLANNING COMMISSION  
AUGUST 20, 2020  
ELECTRONIC AND IN PERSON MEETING**

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**STUDY SESSION**

**Present:** Chairman Roger Child, Vice Chairman Alex Leeman, Greg Wall, Rulon Homer, Mike Plaizier, Larry Steinhorst, and Alternate Commissioner Inger Erickson. **Staff:** Community Development Director David Petersen, Recording Secretary Carly Rowe, Planning/GIS Specialist Shannon Hansell and Associate City Planner Meagan Booth. **Excused:** Commissioner Russ Workman.

**Justin Atwater** and **Mike Romney** came to discuss different options and development possibilities for the property that is located on Burke Lane. They own two acres. They said they want to put together a plan for this small development in a manner that is good for the City and the owners. **Atwater** is under contract to purchase the property from **Romney** to develop it. The property was rezoned Office Mixed Use (OMU) a few months ago at the same time the Jones property and the Benson property was rezoned. A few features were contemplated in the land plan. The east side of the property will have a 60 foot wide road, so they will be dedicating 30 feet of the east boundary for the road. They are also trying to account for the construction going on on Burke Lane. **Cam Preston** with Ensign is their engineer, who has tried to incorporate what is going on on neighboring properties. After all the dedication happens, there will be 1.7 acres left.

They have two proposals. The first is a townhome style project similar to The Avenues near the roundabout at Station Park. Atwater was part of that past project. The proposal is for 42 units of commercial-looking row style units with live-work on the bottom, rear-load garages, and a total of three stories. Roads would be 26 foot wide, and the project would have 33 percent open space.

The second proposal has two, four-story buildings with commercial on the ground level. Each building is 1,200 to 1,500 square feet of commercial space, with living space on the top. Each building would have 12 units, for a total of 24 for those buildings. On the back side, it would go to townhomes on the rest of the project off the road. They are doing a similar project on Bountiful's Main Street at 200 North. The top residential would be separate from the commercial space and accessible by elevator.

The Commission said the question really is about commercial vs. residential. The OMU Zone requires some commercial. They have to be careful about setting a precedent, and should be careful about allowing only residential in that zone. The long-term traffic count will justify commercial in the future.

**Atwater** said that the commercial element of the first proposal is that the ground units would be designed for work-at-home use. He said 1.7 acres is small and difficult to put commercial uses in. He said the open space would be landscaped. Neighboring properties have proposals for office space, a hotel and condominiums. To the east of this property, there are intense commercial uses proposed by McCandless. **Atwater** said he doesn't have tenants in mind yet.

Community Development Director **Dave Petersen** said in 2016 an area master plan was adopted for this area as designed by a nationally acclaimed company. He said the plan is very special and was carefully done. It may need changed because the road alignment was altered recently.

**Roger Child** Said that they are asking if the Commission wants to require commercial on this property, meaning that 24 units will be rental units. The rest is to-own or sale product. He said contextually it fits in with what is going on in neighboring properties. He asked if the Commission wanted a "green," or new concept, approved in the City, as it may remain vacant for some years. He said this option may give the chance for the 24 units to be for sale instead of just for rent.

The Commission liked proposal two the best and Mr. Atwater said he will pursue this alternative.

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## REGULAR SESSION

**Present:** Chairman Roger Child, Vice Chairman Alex Leeman, Greg Wall, Rulon Homer, Mike Plaizier, Larry Steinhorst, and Alternate Commissioner Inger Erickson. **Staff:** Community Development Director David Petersen, Recording Secretary Carly Rowe, Planning/GIS Specialist Shannon Hansell and Associate City Planner Meagan Booth. **Excused:** Commissioner Russ Workman.

Chairman **Roger Child** opened the meeting at 7:06 PM.

### Item #1 Minutes

Commissioner **Rulon Homer** made a motion to approve the minutes from July 9, 2020, and July 13, 2020. Commissioner **Alex Leeman** seconded the motion, which was unanimously approved.

### Item #2 City Council Report

Community Development Director **Dave Petersen** said the City Council meeting two weeks ago addressed pulling residential out of the GMU zone. The first public hearing on that was held Feb. 20, 2020, which started the six-month clock ticking on pending legislation. That six months ends August 20. It was a 3-3 tie vote coming out of the Planning Commission before going to the City Council. The City Council did not want more residential in the GMU Zone than what was approved in the Evan's PMP. A bulk of the property is zoned Residential Mixed Use (RMU). They can get very high density office in the General Mixed Use (GMU) Zone. He referred to Farmington Crossing in the past, with a dream team developing it. It was supposed to be 37 percent residential, 44 percent office, and 17 percent commercial. For nine years they tried to get commercial and office before Garbett Homes came in and made it 91 percent residential. The City doesn't want a repeat of that.

The City Council was patient and waited in that six-month time period for the Evans to get their Project Master Plan (PMP) approved, and now the Council is required by ordinance to follow it. The developer said they could put 2,500 residential units there without the PMP, which would strain the resources and take away the tax base. It would make it difficult to fund Commerce Drive if it was developed as all residential, as the taxing entities would not agree to it. The funding for that major collector road would be in jeopardy and there would be no way to get people to bypass Northwest Farmington. He said the process to take residential out of the GMU Zone was totally fair, as the Evans were invited to the zone text change. It is not unprecedented. They have already removed residential from 184 acres in the past. The 1:2 ratio proposed by the Evans in their PMP means for every one acre of residential, they agree to two acres of commercial, which provides a mix in the GMU zone.

**Petersen** also updated the Commission about the City Council's discussion of **John Saltzgiver's** moderate income housing project. The Council could not get past putting a third unit on that corner of 1470 South and 200 East. The Council thinks that lot is too small for three units, and they unanimously voted to not allow the third unit. At the Council meeting two days earlier, City Manager **Shane Pace** told the applicant that the City is still interested in helping make some moderate housing allowances there, even if it was to help buy down construction costs on the project.

## SUBDIVISION/ZONING AMENDMENTS

**Item #3 Guy Haskell/Updwell Development LLC – Applicant is requesting final plat approval for the Sydney's Corner Phase 2 Subdivision, consisting of 4 lots on 0.94 acres of property located on the southwest corner of 650 West and Glover Lane in an AE (Agriculture Estates) zone. (S-1-20)**

Associate City Planner **Meagan Booth** presented this item to the Commission. The developer received Final Plat approval for the Sydney Corner Phase 2 Subdivision on July 11, 2020. The reason the subdivision is not a Minor Plat is that the development required dedication of Right of Way (ROW) on Glovers and 650 West. The suggested motion mirrors the previous conditions of Preliminary Plat.

Commissioner **Inger Erickson** asked what Agricultural Estates (AE) means. **Petersen** said AE is the predominant zone in West Farmington, meaning ½ acre lots. This would give the developer about 1.8 units per acre. However, these lots are smaller because the City approved a Transfer of Development Right (TDR) to clean up blight in the area.

#### **MOTION**

**Rulon Homer** made a motion to move that the Planning Commission approve the Preliminary Plat for the Sydney Corner Phase 2 Subdivision subject to all applicable Farmington City development standards and ordinances and the following conditions:

1. The applicant must pay the amount, agreed upon by the City Council, for the TDR lot(s) to the City prior to or concurrent with the recordation of the final plat.
2. The applicant shall show the cross section and dedicate the corrected 650 West and Glovers Lane right-of-way on the final plat.
3. The Bureau of Reclamation (BOR) easement must be identified on the final plat, and if the easement is abandoned, the final plat must be amended to reflect the change.
4. The applicant must submit a Soils Report with the final plat drawings.
5. The City's Development Review Committee (DRC) must approve final improvement drawings for the development, and the applicant shall complete any other DRC outstanding comments/requirements related to this, the development, and the final plat.

Commissioner **Mike Plaizier** seconded the motion.

**Inger Erickson** voted no.

*Vote was 6-1.*

#### Findings for Approval:

1. The parcel size is comparable to the existing Sydney's Corner Subdivision Phase 1.
2. Lot dimensions comply with the standards set forth in the Zoning and Subdivision ordinances because the City made a finding of blight.
3. The proposed average lot size for the project is 0.22 acres or 9,583.2 square feet, which required a special exception because each lot is less than the minimum alternative lot size of 12,000 square feet as set forth in the AE zone. The Planning Commission approved a special exception for the smaller lot size on March 5.
4. All lots front an existing fully improved public right of way (650 West and Glover Lane).
5. The development mirrors the development across the street and is consistent with the General Plan, which development the City also approved three TDR lots to help clean-up blight.
6. The subdivision will not be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.

#### **Item #4 Farmington City (Public Hearing) – Applicant is requesting a recommendation of zoning map amendments concerning the rezone of City-owned remnant rights of way. (R.O.W) (Z-8-20)**

Planning/GIS Specialist **Shannon Hansell** presented this item to the Commission. The zoning map is updated after the City Council approves the rezone of a parcel of land in the development process. However, after City Council approval,

changes to the zoning map only include the parcels for which the approval was given, or where the plat indicates. Thus, the current zoning map is a jigsaw puzzle where all parcels are surrounded by right-of-ways that have not been rezoned accordingly. This map amendment would allow the zoning map to be amended to rezone City-owned ROW to reflect abutting property zones. Section 11-9-030 of the Zoning Ordinance describes the event in which zoning boundary uncertainties exist that the centerline of ROWs will be used as zoning boundaries first. This zoning map would follow this guideline; therefore, the zoning map would eliminate out-of-date ROW zoning and replace those areas with centerline reflections of adjacent zoning.

**Roger Child opened and closed the public hearing at 7:23 PM due to no comments received.**

#### **MOTION**

**Alex Leeman** made a motion to move that the Planning Commission recommend the City Council approve the zoning map amendment subject to all applicable Farmington City ordinances and standards.

Commissioner **Greg Wall** seconded the motion.

**Inger Erickson** voted no.

*Vote was 6-1.*

#### Findings for Approval:

1. The amendment allows updates to the zoning map, which is currently updated to reflect just the properties requesting rezoning.
2. This amendment allows for continuity and simpler map viewing.
3. This amendment will allow ROWs in future developments to be updated at the same time as said developments (if rezoning is applicable).

#### **CONDITIONAL USE APPLICATIONS**

##### **Item #5 Mike Hirst (Public Hearing) – Applicant is requesting conditional use approval for an increase in height for an accessory building located at 1993 N Bella Vista Dr. in the LR-F (Large Residential Foothill) zone. (C-6-20)**

**Shannon Hansell** presented this item. The applicant is requesting an increase in height for an accessory building (detached garage) from 15 feet to 16 feet. **Child** said due to the grade, the garage is lower than the house.

**Roger Child opened and closed the public hearing at 7:30 PM due to no comments received.**

#### **MOTION**

**Rulon Homer** made a motion to move that the Planning Commission approve the conditional use application to allow an increase in height as requested, subject to all applicable codes, development standards and ordinances.

Commissioner **Larry Steinhorst** seconded the motion, which was unanimously approved.

#### Findings for Approval:

1. The use is not contrary to the goals, policies and governing principles of the comprehensive plan for Farmington City.

2. The subject property is large enough that an accessory building will fit on the property without any foreseeable adverse effects and is not detrimental to the health, safety or general welfare of persons residing or working in the vicinity.
3. The accessory buildings is subordinate in height to the main building.
4. The accessory building will be located at least fifteen feet (15') from any dwelling on an adjacent lot;
5. The accessory building will not encroach on any recorded easement;
6. The proposed structure is compatible with the character of the site, adjacent properties and surrounding neighborhoods.

**Item #6 Craig and Pamela Mattinson (Public Hearing) – Applicant is requesting conditional use approval for an increase in height for a detached garage located at 131 S Bonanza Rd, in the AE (Agricultural Estates) zone. (C-5-20)**

**Meagan Booth** presented this item. Applicant is requesting an increase in height for an accessory building (detached garage) from 15 feet to 22 feet.

**Greg Wall** questioned the three foot setback from the property line, which is not fenced. **Booth** said the building official required three feet due to the placement of the home on the lot.

**Craig Mattinson**, property owner (131 S. Bonanza Rd.), gave comments. The neighbors to the south just had a Conditional Use Permit (CUP) approved for a circular driveway. They have a similar garage but bigger to the rear of their property. **Mattinson** has spoken with them during his design process, and the neighbor is in support. It does not block any neighbors' views.

**Roger Child** opened and closed the public hearing at 7:37 PM due to no comments received.

**MOTION**

**Larry Steinhorst** made a motion to Move that the Planning Commission approve the conditional use application to allow an increase in height as requested, subject to all applicable codes, development standards and ordinances.

**Rulon Homer** seconded the motion, which was unanimously approved.

Findings for Approval:

1. The garage cannot be placed completely in the rear yard due to the location of the main structure and lot orientation.
2. The ordinance allows for taller accessory buildings in this yard (25 feet in the AE zone on lots over 0.5 acre)
3. The use is not contrary to the goals, policies and governing principles of the comprehensive plan for Farmington City.
4. The subject property is large enough that a detached garage will fit on the property without any foreseeable adverse effects and is not detrimental to the health, safety or general welfare of persons residing or working in the vicinity.
5. The accessory buildings is subordinate in height to the main building.
6. The garage will be located at least fifteen feet (15') from any dwelling on an adjacent lot.
7. The detached garage will not encroach on any recorded easement.
8. The proposed structure is compatible with the character of the site, adjacent properties and surrounding neighborhoods.

**ZONE TEXT AMENDMENT APPLICATIONS**

**Item #7 Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend 11-32-060 of the zoning ordinance allowing the Planning Commission to review additional driveway width as a Special Exception verses a Conditional Use. (ZT-13-20)**

**Meagan Booth** presented this item. Recently, the city has received several conditional use applications for the construction of additional driveway width and associated curb cuts. Conditional use approval standards are regulated by Utah State Code, which provides discretion or say by the Planning Commission so long as conditions are applied to mitigate impacts. See attached Utah State Code 10-9a-507.

Single-family residential neighborhoods typically have roadway side treatments that include curb, gutter, sidewalk and park strip. If larger driveways become too pervasive, the character of the neighborhood often changes. For example, consider the standard driveway width for residential homes ranges from 9 feet to 24 feet. Single car driveways can be as narrow as 9 feet, or as wide as 12 feet. The City’s off-street parking standards allow a width beyond what is typical. Chapter 11-32-060 states, “Residential driveways shall be not more than twenty feet (20’) in width when serving as access to two (2) properly designated spaces, or thirty feet (30’) in width when serving as access to three (3) properly designated parking spaces as measured at the front or side corner property line.”

Staff is proposing this amendment to revise the process for these driveway requests. This amendment would revise the process from a conditional use application, to a Special Exception consideration under an approval from the Planning Commission. The purpose of a Special Exception is to allow an adjustment to a fixed dimension standard permitted in the Zoning Ordinance. A Conditional Use is defined as, “Uses, other than permitted uses, that may be allowed in a specific zone but requiring additional safeguards to maintain and assure the health, safety, morals and general welfare of the public and to maintain the character of the zone.” The amendment is proposing the Planning Commission review additional driveway width as a Special Exception with the approval standards outlined in 11-3-045 E also attached.

**Greg Wall** said it makes good sense for it to be a special exception rather than a conditional use. He asked if there are any guidelines for maximum width. **Booth** said there is not a maximum, but the Commission needs to consider if the lot can accommodate it.

**Alex Leeman** said this makes sense not being a CUP, and he asked if a past applicant who sought a wide driveway had been addressed. **Booth** said City Staff had spoken with him.

**Roger Child opened and closed the public hearing at 7:46 PM due to no comments received.**

**MOTION**

**Alex Leeman** made a motion to move that the Planning Commission recommend the City Council approve the proposed amendment to the Zoning Ordinance as set forth in the staff report, subject to all applicable Farmington City ordinances and standards.

**Greg Wall** seconded the motion, which was unanimously approved.

**Findings for Approval:**

1. The amendment supports the purpose of a Special Exception as an adjustment to a fixed dimension standard permitted in the Zoning Ordinance.
2. The special exception provides the necessary discretion for such matters whereas the conditional use process does not.
3. The amendment gives express authority to the Planning Commission to grant a request for additional driveway width.

4. When determining if additional driveway width should be approved, the Special Exception approval standards better represent criteria that should be considered by the Planning Commission including use, construction, character, location, landscaping, screening, parking and whether or not the a lot or parcel is of sufficient size to accommodate the special exception.

## OTHER BUSINESS

### Item #8 Miscellaneous, correspondence, etc.

- a. Davis County Jail Expansion/Modification.
  - **Dave Petersen** commented, saying that the Davis County Sheriff's Office got conditional use approval for the medical bed expansion of the interior of the jail September 19, 2019. They have not moved forward with that, and would like an extension. It is not uncommon for an applicant to ask for an extension. Also, the approved CUP was for 26 beds, but the plan is for 33 medical observation beds due to increased demands associated with the pandemic. The question is if they need to make new application due to the desired increase in beds, or if the existing application can handle it. According to the zoning ordinance, any changes to the application must be addressed by a new application with some exceptions, such as to accommodate special unforeseen circumstances. The County does not have precedence over the City code, but the State does. **Alex Leeman** said the County has an agreement with the City regarding the jail, and he is afraid the increase in bed number will create angst. **Petersen** this is for medical purposes only, and not to increase the number of overall inmates. **Ericksen** asked what the cons were to approving more medical observation beds. **Petersen** said he can only think of one: transparency to the public, which would require a public hearing. The increase will not change the appearance on the outside of the building. **Leeman** said citizens get concerned about issues such as jail expansion, and sliding in more than was originally approved. However, he recalls that no one showed up for public comment during the initial CUP. **Greg Wall** asked if he could ask questions to the applicant. **Mitch Matern** (800 W. State St), facilities manager, addressed the Commission. **Mitch Matern** explained what the changes are and clarified it is not for jail cells; it is for medical beds due to COVID-19. Currently the facility has a medical observation unit used for the treatment and care of inmates while they are removed from general population. They are usually in the unit for 72 hours or less. Due to the pandemic, more than 72 hours are needed. No more square footage is needed to go from 26 to 33 beds. They currently have dorms, negative pressure rooms, padded rooms, medical staff offices, and exam rooms. More rooms are needed for potential telemed offices and a dedicated pharmacy. **Larry Steinhorst** asked for a timeline. **Matern** said they should have drawings for the Development Review Committee (DRC) in about two weeks. Child said the Commission needs to make sure the extenuating circumstances fall within the code. **Ralph Stanislaw** with Archiplex, architect for the facility, said he hopes to start construction in October and be under construction for a 12-month period. That would be completed by September or October of 2021. The general contractor has been selected and the contract is being solidified with the County. **Kelly Sparks**, Davis County Sherriff, also commented, saying that it may be possible that a recent arrest would need to be observed for medical issues such as withdrawal, and the beds may be used for that. However, it would not allow for increased capacity in the jail. None of the medical beds would count toward the general inmate population. All Commissioners were in favor of allowing an increase in beds from 26 to 33 without the need for a new application because of the pandemic circumstance. All Commissioners were also in favor of granting an extension on the time.
- b. Building height and accessory building placement staff review
  - **Petersen** said there has been a recent rash of requests for accessory buildings to go over the 15 foot mark and for increased driveway widths. He said large cities allow staff to handle such requests, and

have them only go to the Planning Commission if the applicant or neighbors don't agree with the staff's decisions. He said that could be explored for Farmington's future. In Provo and Salt Lake, they have a Community Council, a clearinghouse for special exception requests. In other areas, developers meet with the neighborhood, and have two planning commissioners attend the meeting. **Leeman** said part of the applicant process could include letters of approval from neighbors or property owners that may be impacted prior to bringing the application to Staff. If these letters could not be obtained, then the request could be brought to the Planning Commission for an additional level of scrutiny. **Child** said they encourage developers to meet with neighbors all the time, and he feels the City is small enough that he is fine with having it brought in to the Planning Commission. He wants the neighbors to feel empowered, and meeting with the developer may not be enough. Citizens need to know that Planning Commissioners cannot vote on land rights. **Child** said he doesn't want to expose the City to lawsuits, and the Planning Commission has more expertise and knowledge about such issues than a Community Council or neighborhood meetings would allow. **Petersen** said the City needs the objectivity of the Planning Commission, which is representative of City residents. **Leeman** said the non-elected administrative body, the Planning Commission, is just supposed to follow the law, not create the law or be swayed by public outcry.

c. Other

#### **ADJOURNMENT**

**Rulon Homer** made a motion to adjourn at 8:27 PM. **Greg Wall** seconded the motion, which was unanimously approved.

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**Roger Child**, Planning Commission Chair

**FARMINGTON CITY COUNCIL MEETING  
NOTICE AND AGENDA**

Notice is hereby given that the City Council of **Farmington City** will hold a regular City Council meeting on **Tuesday, September 15, 2020, at 4:00 p.m.** The meeting will be held at the Farmington City Hall, 160 South Main Street, Farmington, Utah.

The agenda for the meeting shall be as follows:

**CALL TO ORDER:**

4:00 Roll Call (Opening Comments/Invocation) Pledge of Allegiance

**NEW ITEMS:**

4:05 Purchase of Home located at 572 N 1525 W

**SUMMARY ACTION:**

*(Items listed are considered routine in nature and will be voted on in mass unless pulled for separate discussion)*

4:15 Minute Motion Approving Summary Action List

1. Approval of Minutes from August 18, 2020
2. Interlocal Agreement with Davis County for Placement of a Ballot Drop Box
3. Plat Amendments:
  - A. Station Park North Subdivision
  - B. Farmington Ranches Phases I Subdivision
  - C. Swain PUD Subdivision

4:20 Economic Development Tour

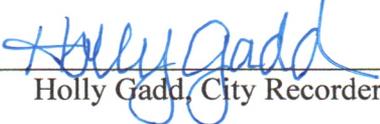
**ADJOURN**

**\*PLEASE NOTE:** Times listed for each agenda item are estimates only and should not be construed to be binding on the City Council.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations due to a disability, please contact Holly Gadd, City Recorder at 801-939-9205, at least 24 hours in advance of the meeting.

*I hereby certify that I posted a copy of the foregoing Notice and Agenda and emailed copies to media representatives on September 10, 2020.*

**FARMINGTON CITY CORPORATION**

By:   
Holly Gadd, City Recorder



## Planning Commission Staff Report September 17, 2020

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### Item 3: Preliminary PUD Master Plan, Subdivision Schematic Plan, and Zone Change—Fiore Townhomes

Public Hearing:	Yes
Application No.:	S-12-20 and Z-10-20
Property Address:	SE Corner of 1525 W. and Clark Ln.
General Plan Designation:	RRD (Rural Residential Density)
Zoning Designation:	AE PUD (Agriculture Estates Planned Unit Development)
Area:	2.65 Acres
Number of Lots:	30
Property Owner:	Golden Meadows Properties LC
Agent:	Jacob Ballstaedt/Adam Nash

Request: *Recommendation for Preliminary PUD Master Plan and Subdivision Schematic Plan for the Fiore Townhomes Planned Unit Development (PUD), and rezone the site from AE (PUD) to BR (PUD)*

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#### **Background Information**

In 2000, the City entered into a development agreement with Golden Meadows Properties for the development of the Farmington Greens PUD Subdivision. In that PUD master plan and development agreement, the subject property was determined to be “Commercial Support and Services” and further defined under Recital B of the development agreement as: “Developer’s project shall be known as Farmington Greens, a planned unit development (the “Project”), which shall consist of up to but not to exceed 176 lots or dwelling units, plus approximately three acres of commercial property as more particularly shown on the preliminary development plan previously approved by the City Council on October 7, 1998.” Beyond this one sentence, there is no further description on what types of commercial uses are allowed on this commercial property.

About 19.5 years after the City approved the preliminary development plan for the site, the City received an application to develop the property . . . a self-storage/retail facility . . . and the Planning Commission considered the same on February 8, 2018. Thereafter, the City Council did not deny the use, but determined that the proposed setbacks, among other things, which deviated from the standards of the underlying zone, placed the buildings too close to the street at this location. A year (11 months) prior to this, the same developer met with some residences/ property owners in the neighborhood to get their input about possible uses for the site.

Timeline—1998 to 2019 (Before the Fiore PUD Application)			
Application/Request	Result	By	Date
Farmington Greens Preliminary Development Plan	○ Approved by City Council	CC	10/7/98
Development Agreement	○ City Council		Date on agreement: 7/19/2000
Neighborhood Mtg	○ City emails show that a neighborhood meeting may have been held by a representative of the owner to discuss development alternatives for the property including apartments (in two buildings) or a convenience/fuel sales store (i.e. a Maverick)		April, 2017
Farmington Greens PUD Master Plan Amendment Application—Self Storage	○ Recommendation by Planning Commission ○ Tabled by City Council ○ City denied request to amend Farmington Greens PUD set back and other standards related to the 2.65-acre site [note: The Council did not deny the proposed land use].	PC CC CC CC	2/8/18 3/6/18 3/5/19 3/19/19
Application—Self-Storage Units	○ Applicant begins preparing a revised application for self-storage units, but never submitted it to the City.		Late Spring/Early Summer 2019

Now the same developer is proposing 30 townhomes for the site and is requesting that the City rezone the property from AE (PUD) to BR (PUD)

**Suggested Alternative Motions**

1. Move that the Planning Commission recommend that the City Council approve the Preliminary PUD Master Plan and Subdivision Schematic Plan for the Fiore Townhomes Planned Unit Development (PUD), and rezone the property from AE (PUD) to BR (PUD), subject to set backs which result from the building placement as depicted on the proposed master plan.

**Findings:**

- a. Townhomes present an acceptable non-commercial use for the location because the 1998 development plan, which identified commercial uses on this corner, did not envision a major commercial complex, just a few blocks east of the site. Now the possibility of a thriving business on the 2.65-acre property is more remote due to the market attraction of Station Park.
- b. The townhomes will be “for sale” dwellings, which may result in a good niche/match for the local housing market.

- OR -

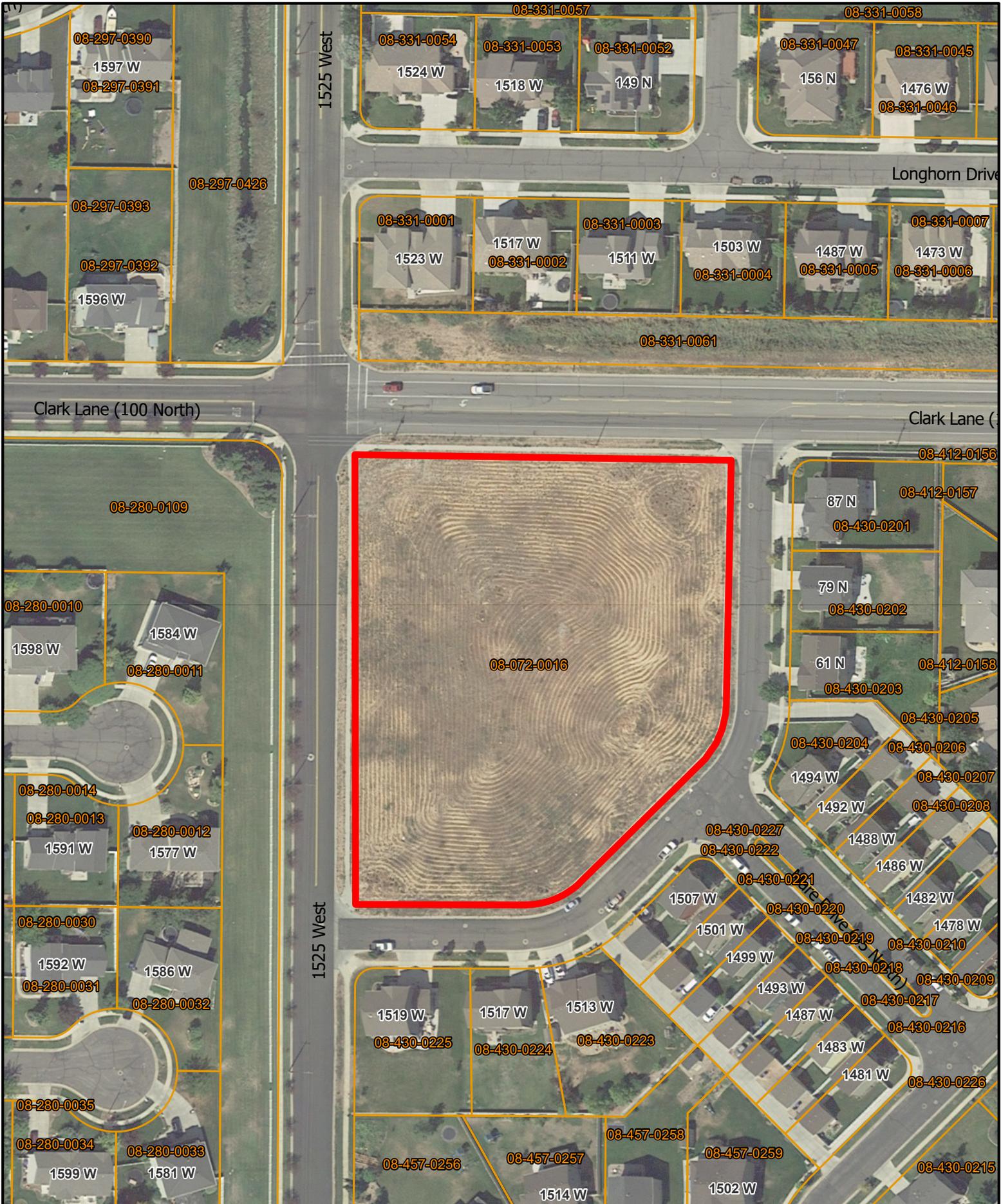
2. Table consideration of the application to allow staff and the Commission time to better recommend/determine that the proposed building setbacks from 1525 West and Clark Lane will enhance and not detract from the overall sense of place for the intersection [note: street setbacks were an issue related to the last development application for this site].

- OR -

3. Move the Planning Commission not recommend the Preliminary PUD Master Plan and Subdivision Schematic Plan for the Fiore Townhomes Planned Unit Development (PUD), and not rezone the property from AE (PUD) to BR (PUD), because it does not follow the intent of the 1998 development plan.

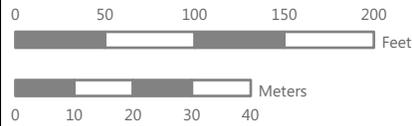
**Supplemental Information**

1. Vicinity Map
2. Farmington Greens Development Agreement (pg. 1-3), and 1998 Development Plan
3. Fiore Preliminary PUD Master Plan and Subdivision Schematic Plan
4. Fiore Proposed Building Elevations
5. Fiore Landscape Information



# VICINITY MAP

## Fiore Townhomes Zoning



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

5/2 23 3A-1W

170  
8

**DEVELOPMENT AGREEMENT**  
**FOR**  
**FARMINGTON GREENS (PUD)**

08-074-0001

**THIS DEVELOPMENT AGREEMENT** (the "Agreement") is made and entered into as of the 19 day of July, 2000, by and between **FARMINGTON CITY**, a Utah municipal corporation, hereinafter referred to as the "City," and **CLAIMS, INC.**, a Utah corporation, hereinafter referred to as the "Developer."

E 1624058 B 2713 P 1180  
SHERYL L. WHITE, DAVIS CNTY RECORDER  
2000 NOV 14 1:03 PM FEE 170.00 DEP MEC  
REC'D FOR FARMINGTON CITY CORP

**RECITALS:**

A. Developer owns or is acquiring approximately 98.3 acres of land located within the City, which property is more particularly described in Exhibit "A" attached hereto and by this reference made a part hereof (the "Property").

B. Developer or its predecessors have filed an application with the City for approval of Developer's project on the Property as a planned unit development. Developer's project shall be known as Farmington Greens, a planned unit development (the "Project"), which shall consist of up to but not to exceed 176 lots or dwelling units, plus approximately three acres of commercial property as more particularly shown on the preliminary development plan previously approved by the City Council on October 7, 1998.

C. The Property is presently zoned under the City's zoning ordinance as AE. Except as expressly modified by the approved PUD application, the Property is subject to all City ordinances and regulations including the provisions of the City's General Plan, the City's zoning ordinances, the City's engineering standards and specifications and any permits issued by the City pursuant to the foregoing ordinances and regulations (collectively, the "City's Laws").

D. The Project will be developed as a planned unit development. The City has included in this Agreement various conditions that must be satisfied in order to allow development of the Project.

E. Persons and entities hereafter developing the Property or any portions of the Project thereon shall accomplish such development in accordance with the City's Laws, and the provisions set forth in this Agreement. This Agreement contains certain requirements for design and development of the Property and the Project in addition to those contained in the City's Laws.

**AGREEMENT**

**NOW, THEREFORE**, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the City and Developer hereby agree as follows:

1. **Incorporation of Recitals.** The above Recitals are hereby incorporated into this Agreement.

E 1624058 B 2713 P 1181

2. **Development Plan.** The Developer shall develop the Project on the Property as a planned unit development in phases as residential lots or dwelling unit sites with approximately three acres of commercial property in accordance with the approved final development plan, which plan is attached hereto as Exhibit "B" and by this reference is made a part hereof (the "Development Plan") and the sample elevations and residential setback requirements attached hereto as Exhibits B-1 and B-2 respectively and by this reference made a part hereof. Any change proposed for the Development Plan must be approved by the City before becoming effective. The Farmington City Council shall receive a recommendation from the Planning Commission before approving any amendments.

3. **Plats and Site Plans.** A subdivision plat and/or site plan where appropriate for each phase of the Project will be required for approval by the City. All phases of the Project receiving final plat and/or site plan approval must be developed in strict accordance with the approved final plat and/or site plan for that phase. No amendments or modifications to the final plat and/or site plan for any phase shall be made by the Developer without the written approval of the City being first obtained. Nothing contained herein shall be construed as granting final plat and/or site plan approval to the Developer for any portion of the Project.

4. **Development of the Project.** The Project shall be developed by Developer and/or Developer's successors and assigns in accordance with all of the requirements contained herein.

a. **Compliance with City Laws and Development Standards.** The Project and all portions thereof shall be developed in accordance with the City's Laws, the Development Plan and the approved final plats and site plans, and this Agreement.

b. **Streets and Related Improvements.**

i. Developer will construct and/or improve and dedicate to the City the streets shown on final subdivision plats and/or site plans for the Project. Construction and/or improvement of the streets shall include all curb, gutter, paving, sidewalks, park strips and related utilities. All construction and improvement shall be in accordance with City-approved design and construction standards and requirements. Prior to construction, plans and specifications shall be reviewed and approved by the City Engineer.

ii. Developer shall post a bond acceptable to the City for and fully improve one-half (½) of the 1525 West Street right-of-way the entire distance that such right-of-way runs adjacent to the western boundary of the Property prior to recordation of the final plat of each phase abutting 1525 West Street. Improvements for 1525 West Street shall include, but are not limited to, curb and gutter, asphalt, road base, sidewalk or trail on the east side and all related underground public improvements and utilities. Construction of 1525 West shall occur concurrently with

the construction of improvements in 1525 West by the developer of Farmington Ranches (the "Farmington Ranches Developer").

E 1624058 B 2713 P 1182

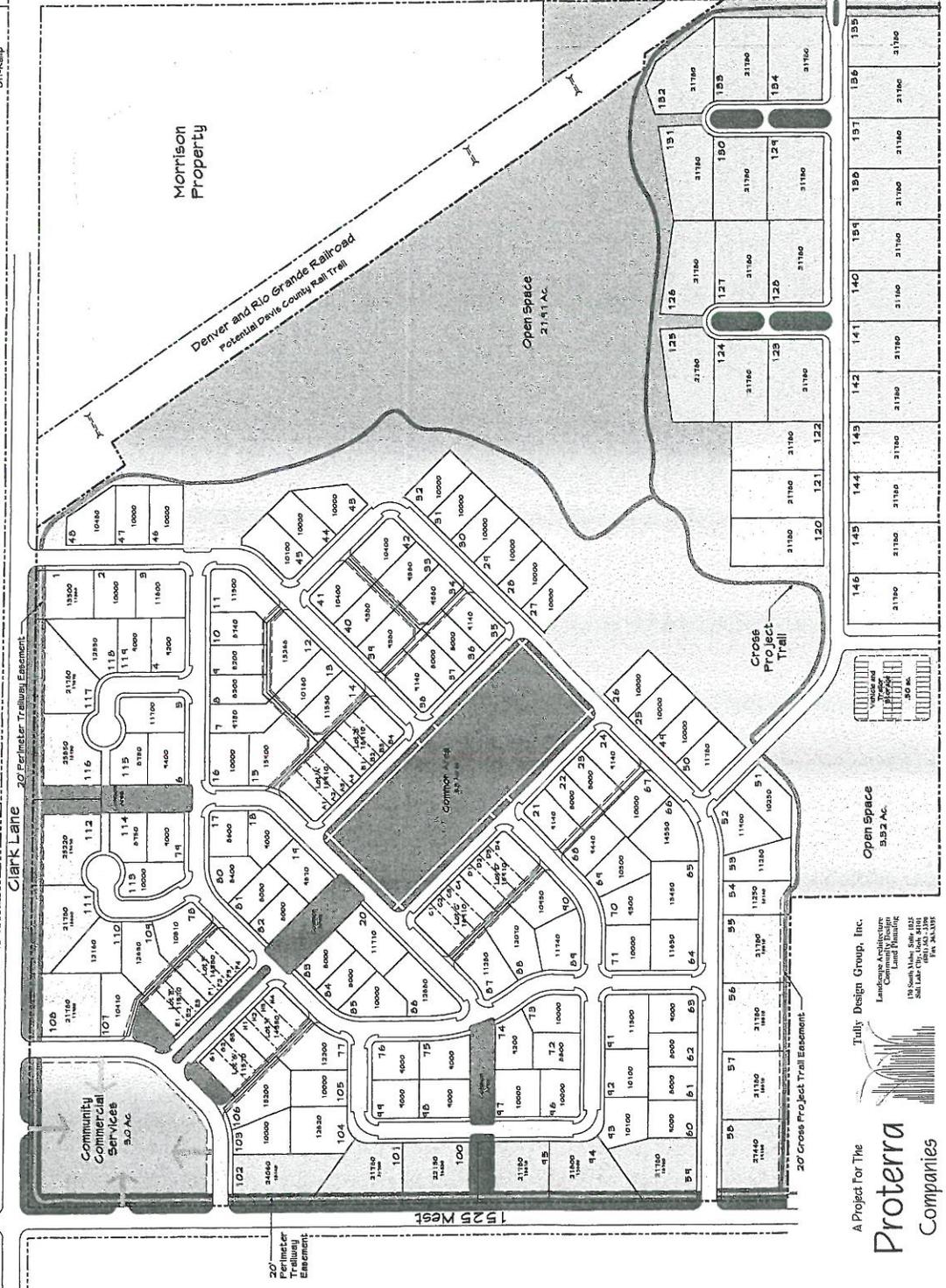
iii. In cooperation with the Farmington Ranches Developer, Developer shall fully improve the entire Clark Lane right-of-way from the point where said right-of-way intersects with the projected eastern-most boundary of Farmington Greens to the western boundary of 1100 West Street right-of-way. Developer's cost participation in the foregoing shall be limited to twenty-four and three-tenths percent (24.3%). Said improvement of Clark Lane shall be commenced after the City completes the installation of the water loop lines required for the Project pursuant to section 4(e)(iii) herein. The City shall enter into a written agreement with the Farmington Ranches Developer requiring said developer to pay seventy-five and seven-tenths (75.7%) of the cost of all the Clark Lane improvements described above. Developer's share of the cost of the Clark Lane improvements described in this subparagraph shall be paid by the Developer at the time of construction. The City will subsequently reimburse Developer's share of the cost of paving (including sub-grade and base preparation) the center fifteen (15) feet of that portion of Clark Lane described herein on a pro rata basis to the Developer and the Farmington Ranches Developer from traffic impact fees as the same are received by the City (the "Clark Lane Reimbursement Amount") pursuant to a reimbursement agreement to be entered into between the Developer and the City contemporaneously herewith. Contemporaneously herewith, the City and Developer shall enter into a pioneering agreement in the form attached hereto as Exhibit "C," which pioneering agreement shall provide for the reimbursement of Developer for a portion of the cost of the Clark Lane improvement costs by landowners adjoining the applicable portions of Clark Lane when and as such landowners develop their respective properties.

iv. Developer shall dedicate on the basis of One Dollar (\$1.00) per square foot to the City seven (7) feet of an 80-foot right-of-way of the Clark Lane right-of-way for the entire distance that such right-of-way runs adjacent to the northern boundary of the Property. The City will reimburse Developer for the fair market value of the seven feet pursuant to a reimbursement agreement between the parties. Developer further agrees to prepare and execute if necessary right-of-way dedication plats and/or subdivision plats for the Clark Lane dedications pursuant to the requirements contained herein. The dedication plats shall be recorded concurrently with the final plat of each respective phase of the Project. Developer shall fully improve the Clark Lane right-of-way including top back of curb on the south side to top back of curb on the north side the entire distance that such right-of-way runs adjacent to the northern boundary of the Property prior to recordation of the final plat of each phase abutting Clark Lane. Improvements for Clark Lane shall include, but are not limited to, curb and gutter on both the north and south sides of Clark Lane, fifty-two (52) feet of paving asphalt, sidewalk or trail on the south side, and all related underground public improvements and utilities including, but not limited to, storm drain piping and improvements. Developer shall post a bond acceptable to the City for the above-described improvements. The City will reimburse Developer from

# Farmington Greens

## Development Plan

Future  
Legend Highway  
City Limits



### LEGEND

- 41 Equestrian Lot Homes  
211750 s.f. and larger
- 42 Large Lot Single Family  
10000 - 21000 s.f.
- 43 Medium Lot Single Family  
4000 - 10000 s.f.
- 44 Medium Lot Single Family  
8000 - 10000 s.f.
- 45 Village Home Lots  
111500 - 164500 s.f.
- 46 Community Support  
and Commercial Services
- 47 Common Areas
- 48 Open Space
- 49 Common Area

**Project Density**

176 Homes on 98.3 Acres  
1.8 Homes / Acre  
32.0 Acres Open Space  
33 % Open Space  
3.5 Acres Services  
3.6 % Services

ARPAH Survey  
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This drawing is identified as a part of the project described above. It is not to be used for any other project without the written consent of Tully Design Group, Inc. All rights reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Tully Design Group, Inc. This drawing is intended for the use of the project described above and is not to be used for any other project without the written consent of Tully Design Group, Inc.



Scale: 1" = 100'  
North Arrow  
Revised July 15, 1998  
Revised October 15, 1998  
7/15/98 S.M.T.

RECEIVED JUL 05 2000

A Project For The

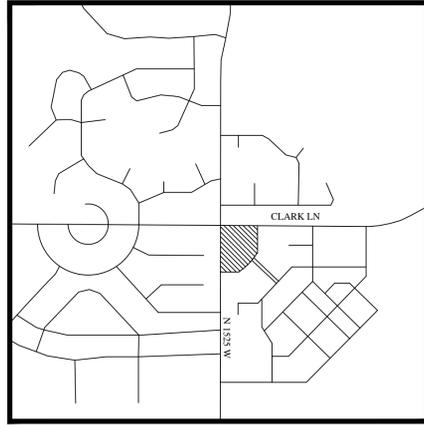
# Proterra Companies

Tully Design Group, Inc.  
Landscape Architecture  
Community Design  
Land Planning

100 South Main, Suite 1012  
200 East 10th, Suite 1100  
Fort Collins, CO 80501  
970.226.1000

# FIORE PUD PRELIMINARY

PREPARED FOR:  
**GARBETT HOMES**  
 LOCATED IN:  
**FARMINGTON, UTAH**



VICINITY MAP  
NIS



SITE MAP

### GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO FARMINGTON CITY & CENTRAL DAVIS SEWER DISTRICT STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

### NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

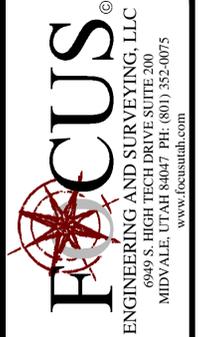
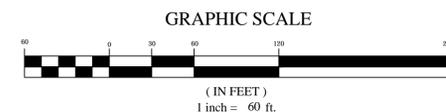
### ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

### CONTACTS

**ENGINEER & SURVEYOR**  
 FOCUS ENGINEERING & SURVEYING, LLC  
 6949 S. HIGH TECH DRIVE SUITE 200  
 MIDVALE, UTAH 84047  
 (801) 352-0075  
 PROJECT MANAGER: JACKSON WATERS  
 SURVEY MANAGER: SPENCER LLEWELYN

**OWNER/DEVELOPER**  
 GARBETT HOMES  
 273 N. EAST CAPITOL STREET  
 SALT LAKE CITY, UTAH 84103  
 (801) 456-2460  
 CONTACT: JACOB BALLSTAEDT



FOR REVIEW

**FIORE PUD PRELIMINARY**  
 FARMINGTON, UTAH  
**COVER**

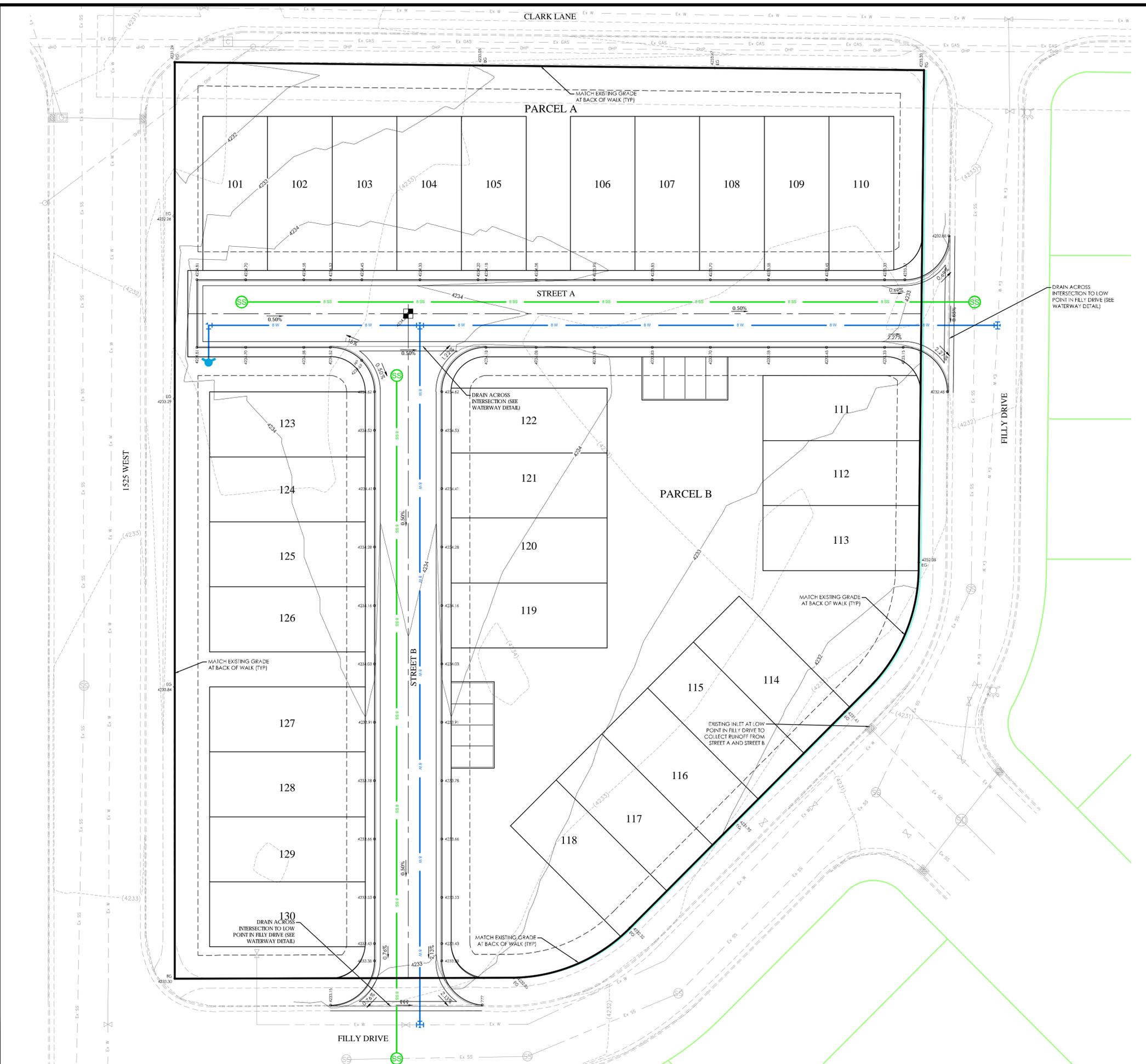
REVISION BLOCK		DESCRIPTION
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**COVER**

Scale: 1"=60' Drawn: JMH  
 Date: 8/28/20 Job #: 20-0367  
 Sheet: C1







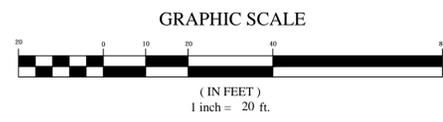
**LEGEND**

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 15" STORM DRAIN
- 8" SANITARY SEWER
- 8" CULINARY WATER
- 8" SW
- 8" SECONDARY WATER
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR

SIGN

- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION

	AREA (SF)	C	C*A
ROW	21,805	0.9	19,625
DRIVES	9,779	0.95	9,290
ROOF	33,508	0.95	31,833
OPEN SPACE	49,352	0.2	9,870
<b>TOTAL</b>	<b>114,444</b>		<b>70,618</b>
<b>WEIGHTED C</b>	<b>0.62</b>		
10-yr 5-min Intensity			4.44 in/hr
Peak Runoff			7.20 cfs



**FOCUS**  
ENGINEERING AND SURVEYING, LLC  
6949 S. HIGH TECH DRIVE, SUITE 200  
MIDVALE, UTAH 84047 PH: (801) 552-0075  
www.focusllc.com

LICENSED PROFESSIONAL ENGINEER  
No. 8028950-2202  
THOMAS M. ROMNEY  
STATE OF UTAH  
2012

**FOR REVIEW**

**FIORE PUD PRELIMINARY**  
FARMINGTON, UTAH  
**GRADING & DRAINAGE PLAN**

REVISION BLOCK

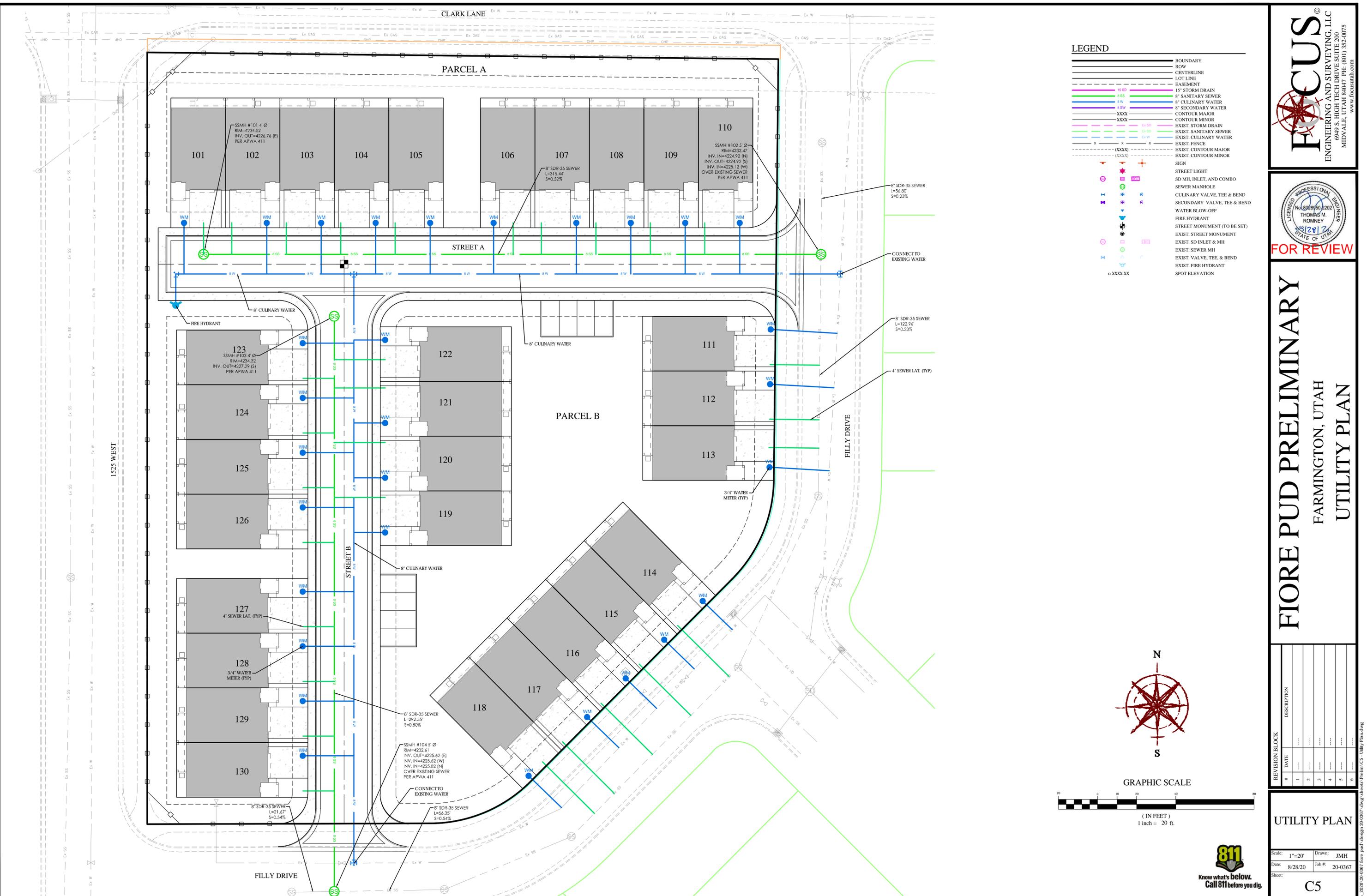
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**GRADING & DRAINAGE PLAN**

Scale: 1"=20' Drawn: JMH  
Date: 8/28/20 Job #: 20-0367  
Sheet: **C4**



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**LEGEND**

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 15" STORM DRAIN
- 8" SANITARY SEWER
- 8" CULINARY WATER
- 8" SW
- 8" SECONDARY WATER
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR

**SIGN**

- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION

**FOCUS**  
 ENGINEERING AND SURVEYING, LLC  
 6949 S. HIGH TECH DRIVE SUITE 200  
 MIDVALE, UTAH 84047 PH: (801) 552-0075  
 www.focusllc.com

LICENSED PROFESSIONAL ENGINEER  
 No. 8028950-2202  
 THOMAS M. ROMNEY  
 12/12  
 STATE OF UTAH  
**FOR REVIEW**

**FIORE PUD PRELIMINARY**  
 FARMINGTON, UTAH  
 UTILITY PLAN

**GRAPHIC SCALE**  
 (IN FEET)  
 1 inch = 20 ft.

**REVISION BLOCK**

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		

**UTILITY PLAN**

Scale: 1"=20' Drawn: JMH  
 Date: 8/28/20 Job #: 20-0367  
 Sheet: **C5**



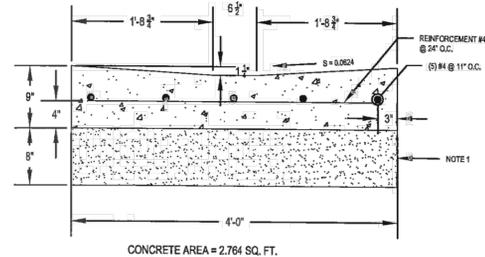
z:\2020\20-0367 Fiore PUD\design\20-0367.dwg;alberts\Prim\C5 - Utility Plan.dwg

### WATERWAY

**NOTES:**

1. UNTREATED BASE COURSE: PROVIDE MATERIAL SPECIFIED IN APWA SECTION 32 11 23. DO NOT USE GRAVEL OR SEWER ROCK. PLACE PER APWA SECTION 32 05 10. COMPACT PER APWA SECTION 31 23 26 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8-INCHES AFTER COMPACTION.
2. CONCRETE: CLASS 4000 PER APWA SECTION 03 30 04.
  - A. IF NECESSARY, PROVIDE CONCRETE THAT ACHIEVES DESIGN STRENGTH IN LESS THAN 7 DAYS. USE CAUTION, HOWEVER, AS SPIDER CRACKS DEVELOP IF AIR TEMPERATURE EXCEEDS 90 DEGREES F.
  - B. PLACE PER APWA SECTION 03 30 10.
  - C. UNLESS SHOWN OTHERWISE, PROVIDE 1/2 INCH RADIUS ON CONCRETE EDGES EXPOSED TO PUBLIC VIEW.
  - D. APPLY A CURING COMPOUND PER APWA SECTION 03 39 00 OR USE AN ACCEPTABLE ALTERNATE CURING METHOD.
3. EXPANSION JOINTS: FULL DEPTH 1/2 INCH THICK TYPE F1 JOINT FILLER MATERIAL PER APWA SECTION 32 13 73. SET TOP OF FILLER FLUSH WITH SURFACE OF CONCRETE.
4. CONTRACTION JOINTS: MAKE CONTRACTION JOINTS VERTICAL, AT LEAST 1/8 INCH WIDE, AND 2 INCHES DEEP OR 1/4 SLAB THICKNESS IF THE SLAB IS GREATER THAN 8 INCHES THICK.
5. REINFORCEMENT: ASTM A 615, GRADE 60, GALVANIZED OR EPOXY COATED DEFORMED STEEL. SEE APWA SECTION 03 20 00 REQUIREMENTS
6. FINISH: BROOMED
7. PROTECTION AND REPAIR
  - A. FILL FLOW-LINE WITH WATER. REPLACE CONSTRUCTION THAT DOES NOT DRAIN.
  - B. PROTECT CONCRETE FROM DE-ICING CHEMICALS DURING CURING
8. WATERWAY USE MUST BE APPROVED

PLAN NO. 211 SP



\*MICRO-SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE MIX DESIGN. MICRO-SYNTHETIC FIBERS SHALL SERVE TO REDUCE PLASTIC SHRINKAGE CRACKING, REDUCE WATER MIGRATION, AND DAMAGE FROM FREEZE/THAW AND IMPROVE DURABILITY. FIBERS SHALL CONFORM TO ASTM 1161C 1116M, TYPE III FIBER REINFORCED CONCRETE AND SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.

### WATERWAY

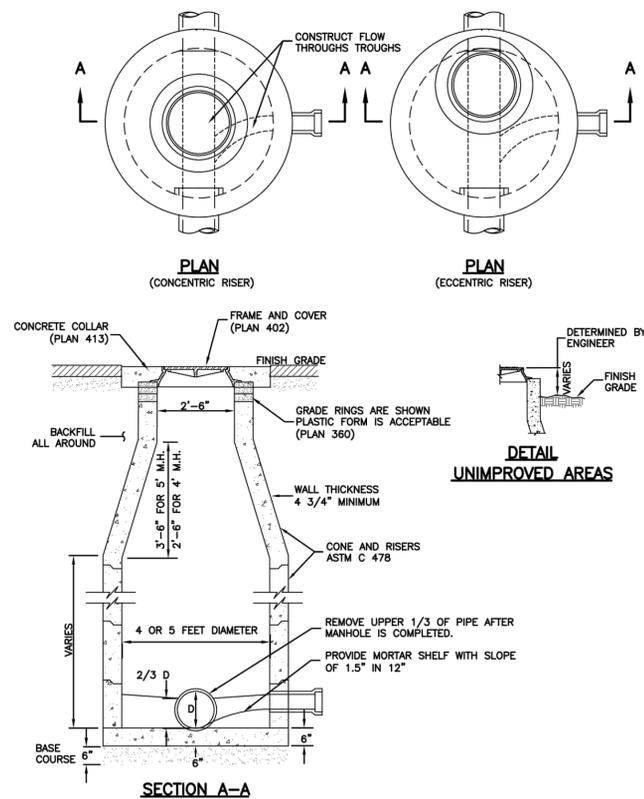
PLAN NO. 211 SP

REVISED 02/05/08

### Sanitary sewer manhole

1. **GENERAL**
  - A. The drawing shows typical pipe connections. Refer to construction drawings for connection locations or refer to field location of existing piping when engineering pipe connection to the manhole.
  - B. Manhole size.
    - 1) Diameter is 4 feet: For sewers under 12" diameter.
    - 2) Diameter is 5 feet: For sewers 12" and larger, or when 3 or more pipes intersect the manhole.
2. **PRODUCTS**
  - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.
  - B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - C. Concrete: Class 4000, APWA Section 03 30 04.
  - D. Riser and Reducing Riser: ASTM C 478.
  - E. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
  - F. Grout: 2 parts sand to 1 part cement mortar, ASTM C 1329.
  - G. Stabilization-Separation Geotextile: Moderate or high at CONTRACTOR'S choice, APWA Section 31 05 19.
3. **EXECUTION**
  - A. Foundation Stabilization: Get ENGINEER'S permission to use a sewer rock or a granular backfill borrow in a geotextile wrap to stabilize an unstable foundation.
  - B. Base Course Placement: APWA Section 32 11 23. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
  - C. Invert Cover. During construction, place invert covers over the top of pipe in manholes that currently convey sewerage. See Plan 412.
  - D. Pipe Connections: Grout around all pipe openings.
  - E. Pipe Seal: Install rubber-based pipe seals on all plastic pipes when connecting plastic pipes to manholes. Hold water-stop in place with stainless steel bands.
  - F. Joints: Place flexible gasket-type sealant in all riser joints. Finish with grout.
  - G. Adjustment: If the required manhole adjustment is more than 1'-0", remove the cone and grade rings and adjust the manhole elevation with the appropriate manhole section, the cone section, and the grade rings or plastic form to make frame and lid match finish grade.
  - H. Finish: Provide smooth and neat finishes on interior of cones, shafts, and rings. Imperfect moldings or honeycombs will not be accepted.
  - I. Backfill: Provide backfill against the manhole shaft. Pea gravel and recycled RAP aggregate is NOT ALLOWED. Water jetting is NOT allowed. Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.

212



### Sanitary sewer manhole

Plan  
**411**

April 2011

213

FOR REVIEW

# FIORE PUD PRELIMINARY

FARMINGTON, UTAH

## DETAILS

REVISION BLOCK		DESCRIPTION
#	DATE	

DETAILS	
Scale: 1"=20'	Drawn: JMH
Date: 8/28/20	Job #: 20-0367
Sheet: <b>D1</b>	



# FIORE TOWNHOMES

FARMINGTON UTAH

27 AUG, 2020



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 S. High Point Pkwy., Suite 300  
Sandy, UT 84117  
Ph: 801.269.0055  
Fax: 801.269.1425  
www.thinkaec.com

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These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.

**PROJECT UNDERSTANDING**  
 B1 Zone (With R-8 multifamily provisions and PUD application)(11-15-40, 11-30-30 and 11-27): Key points:  
 1) Site Area Required (PUD): See Area = 11,000 sq. ft. for First 2 family dwelling then 4,000 sq. ft. for each additional unit.  
 Minimum Lot width = 100' Interior and 110' corner.  
 Maximum of 4 units attached together unless approved by PC per 11-13-30.

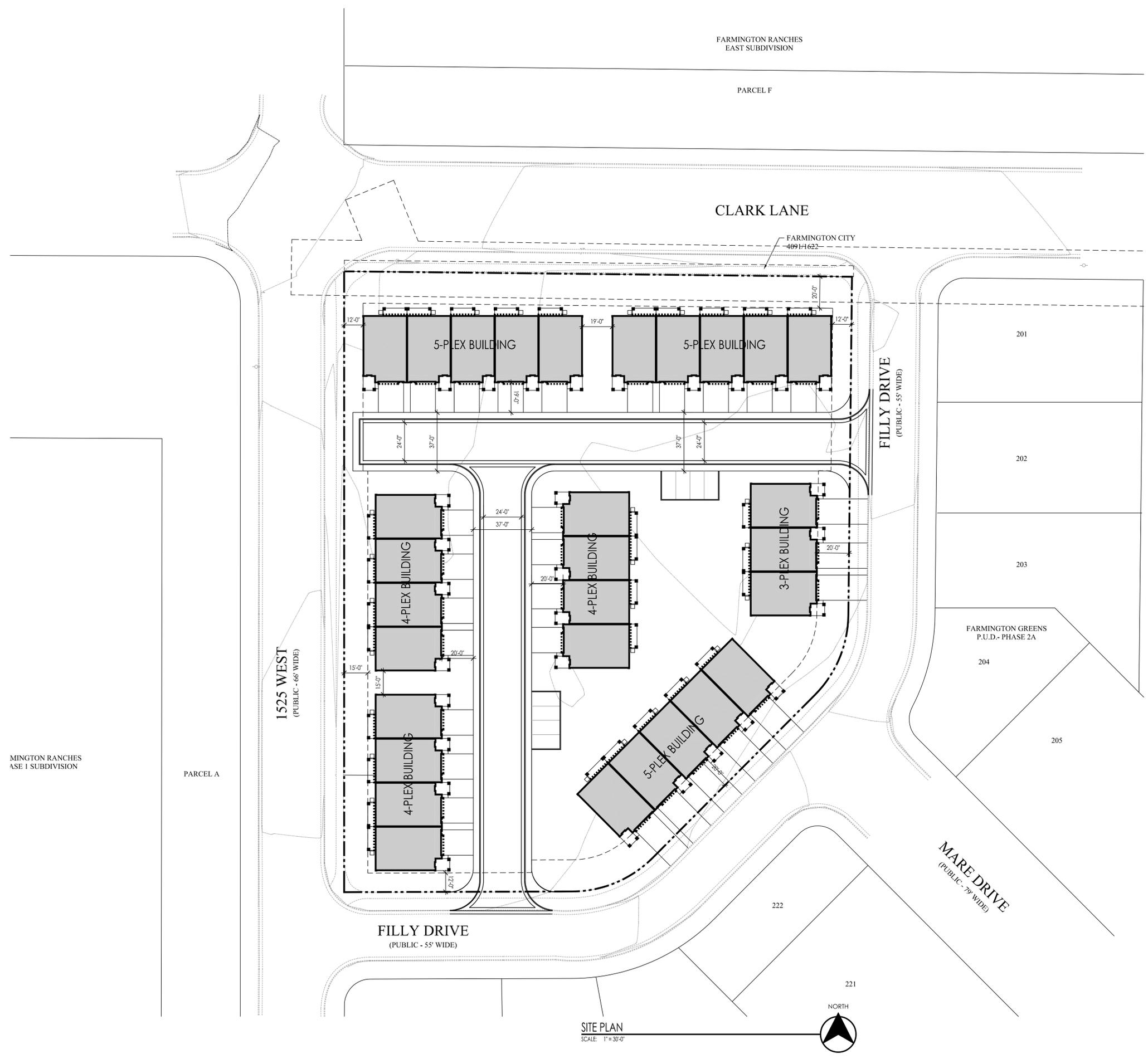
C. Maximum Building Height: 27' (11-13-40)  
 D. Minimum Yard requirements (11-13-40)  
 Front Yard: 30'  
 Corner Side Yard: 30'  
 Interior Side Yard: 15' minimum total of 30'  
 Rear Yard: 30'  
 F. Maximum Building Coverage: 60% of lot area for attached dwellings.  
 G. Required Open Space: 30% exclusive of driveways, parking, streets, individual yards. See zoning (PUD) code for open space incentive multiplier.

REQUIRED PARKING: ???

- PROJECT Clarifications Needed**
- How is density calculated for this zone/project?
  - Can setbacks be modified through PUD process?
  - What are required street profiles/sections for this project?
  - Can height restriction be modified through PUD process?
  - Base density in PUD section of development code refers to a "Yield Plan." No information could be found stating how this is to be calculated/determined.
  - Clarification on the open space incentive multiplier - not clear how this is calculated and what determines how this calculation can be used.

**LAND USE SUMMARY**

	ACRES (SQ. FT.)	SITE COVER %		
SITE AREA	2.63 (114,562)	100%		
UNITS PER ACRE		11.4		
OPEN SPACE & LANDSCAPE	1.10 (47,796)	41.7%		
PARKING/ROADS	0.43 (18,706)	16.3%		
BUILDING FOOTPRINTS	0.88 (38,460)	33.6%		
DRIVEWAYS	0.22 (9,600)	8.4%		
UNIT TYPE	SF gross	TOTAL	%	REQ. PKG
3 BEDROOM-01	1897	30	100%	60
<b>TOTAL RESIDENTIAL</b>				
		30	100%	60
<b>PARKING PROVIDED</b>				
PRIVATE GARAGES		60		
VISITOR STALLS (Driveways)		60		
<b>TOTAL</b>				
		120		



FIORE  
TOWNHOMES  
~ 1525 W. CLARK LANE  
FARMINGTON, UTAH

FOR REVIEW - NOT FOR CONSTRUCTION

PROJECT NO. 20064  
 DATE: 27 AUG 2020  
 REVISIONS:  
 SHEET TITLE:  
 FIORE-TOWNS  
 SITE-PLAN-OPT-2  
 SHEET NUMBER:  
 A101.2

SITE PLAN  
 SCALE: 1" = 30'-0"  
 NORTH



## FIORE TOWNHOMES

FARMINGTON UTAH

EXTERIOR VIEW - 4-PLEX

D201

27 AUG, 2020



# FIORE TOWNHOMES

FARMINGTON UTAH

EXTERIOR VIEW - 5-PLEX

D202

27 AUG, 2020



# FIORE TOWNHOMES

FARMINGTON UTAH

EXTERIOR VIEW - 3-PLEX

D203

27 AUG, 2020



## FIORE TOWNHOMES

FARMINGTON UTAH

EXTERIOR VIEW -  
BACKYARDS 1

D204

27 AUG, 2020



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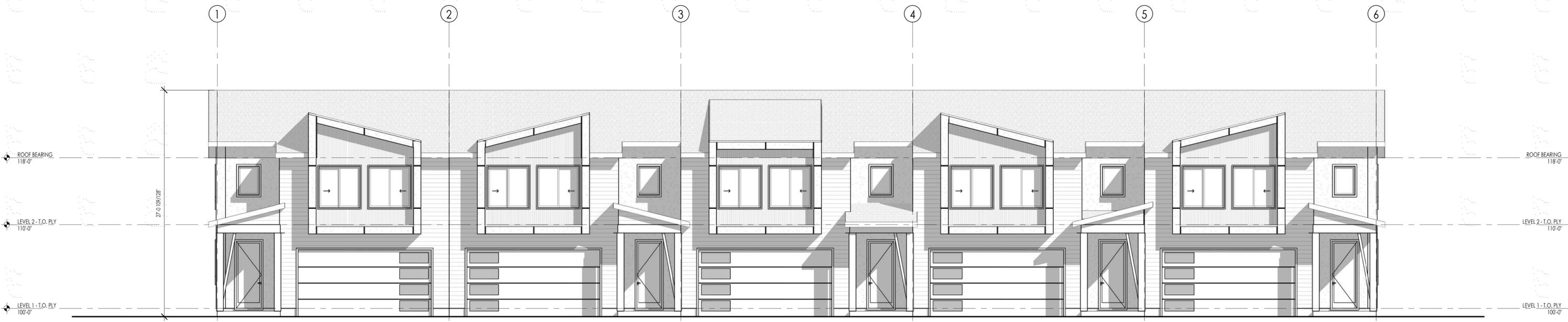
# FIORE TOWNHOMES

FARMINGTON UTAH

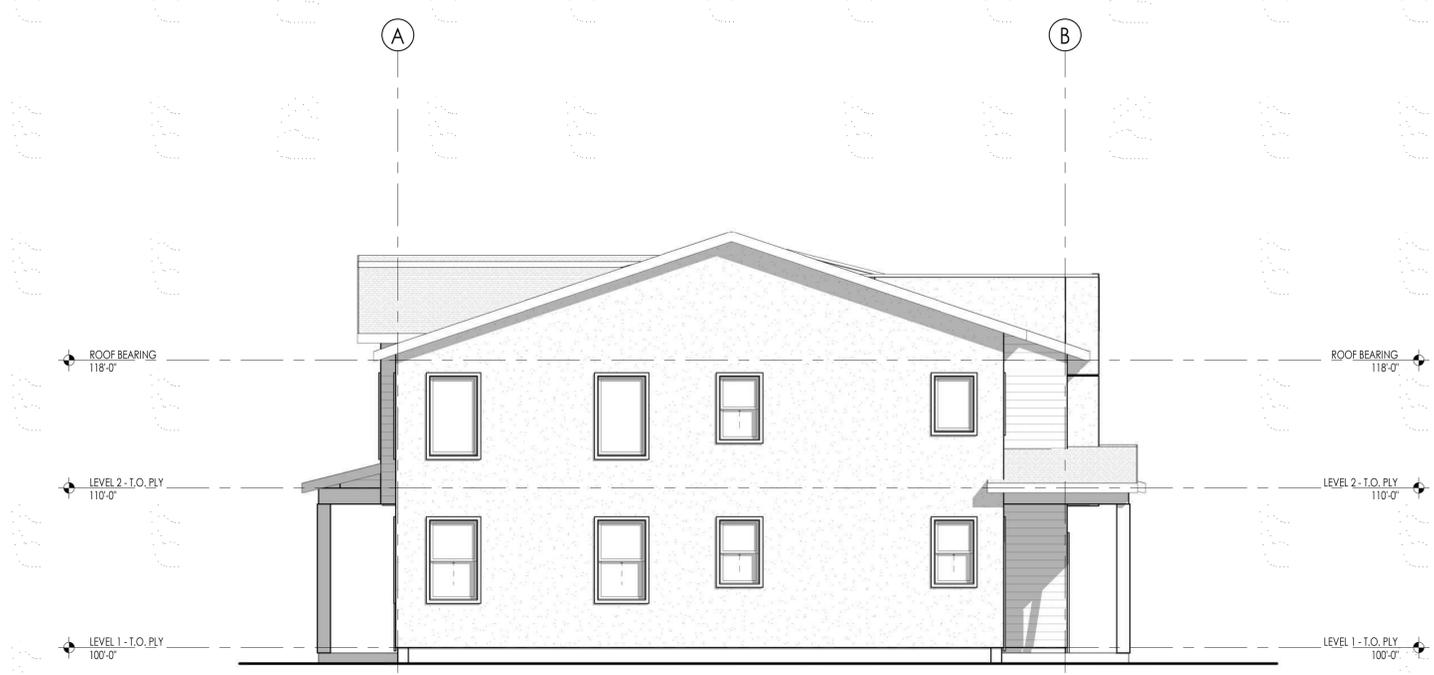
EXTERIOR VIEW -  
BACKYARDS 2

## D205

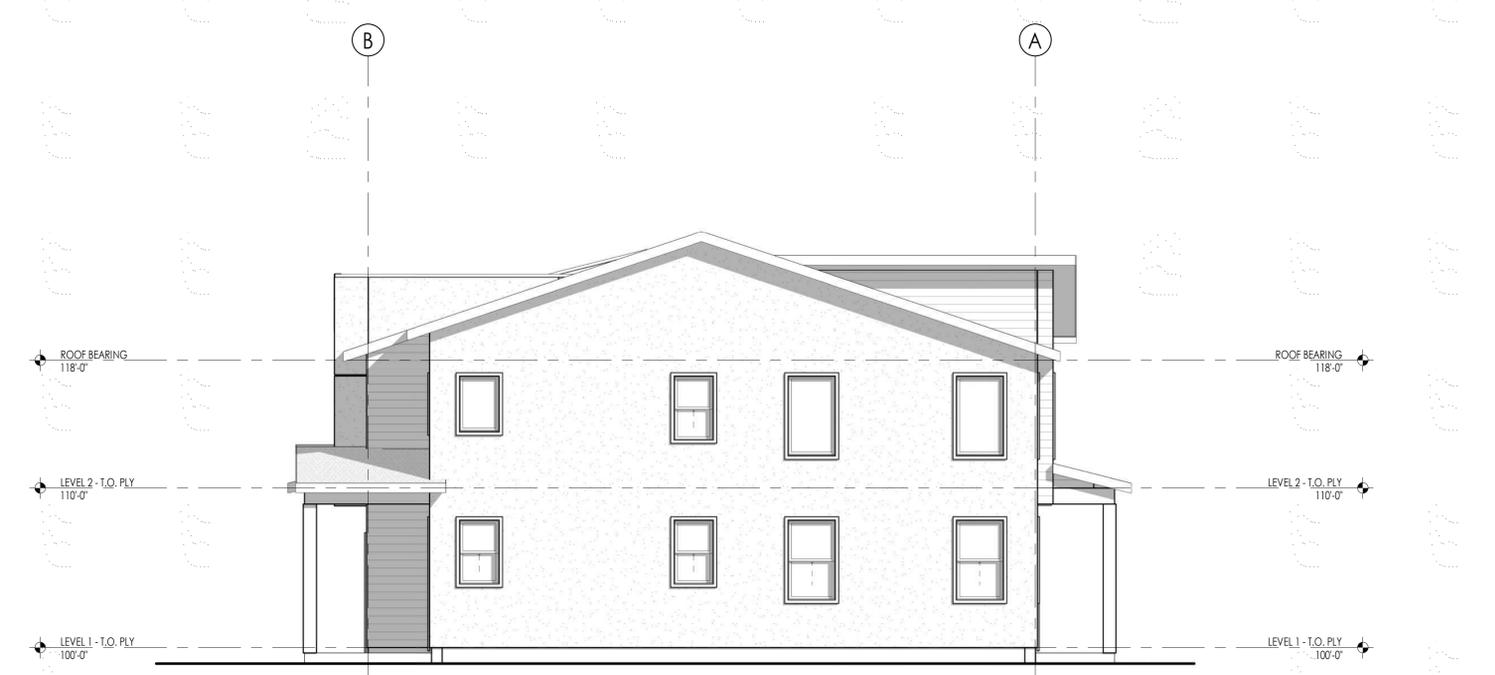
27 AUG, 2020



FRONT ELEVATION SD  
3/16" = 1'-0"  
1  
D301



LEFT ELEVATION SD  
3/16" = 1'-0"  
2  
D301



RIGHT ELEVATION SD  
3/16" = 1'-0"  
3  
D301



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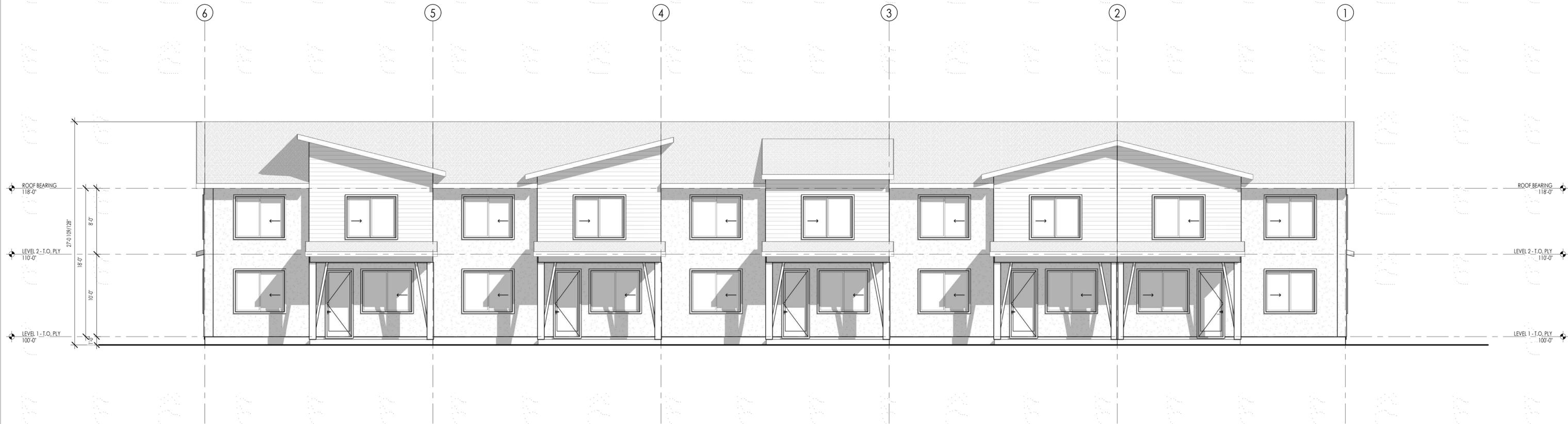
# FIORE TOWNHOMES

FARMINGTON, UTAH

5-PLEX EXTERIOR ELEVATIONS

D301

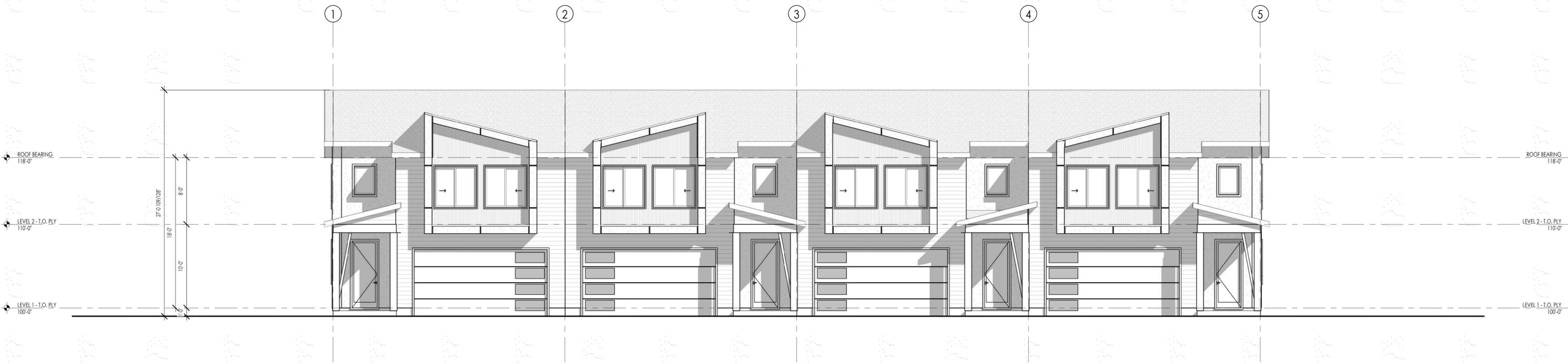
27 AUG, 2020



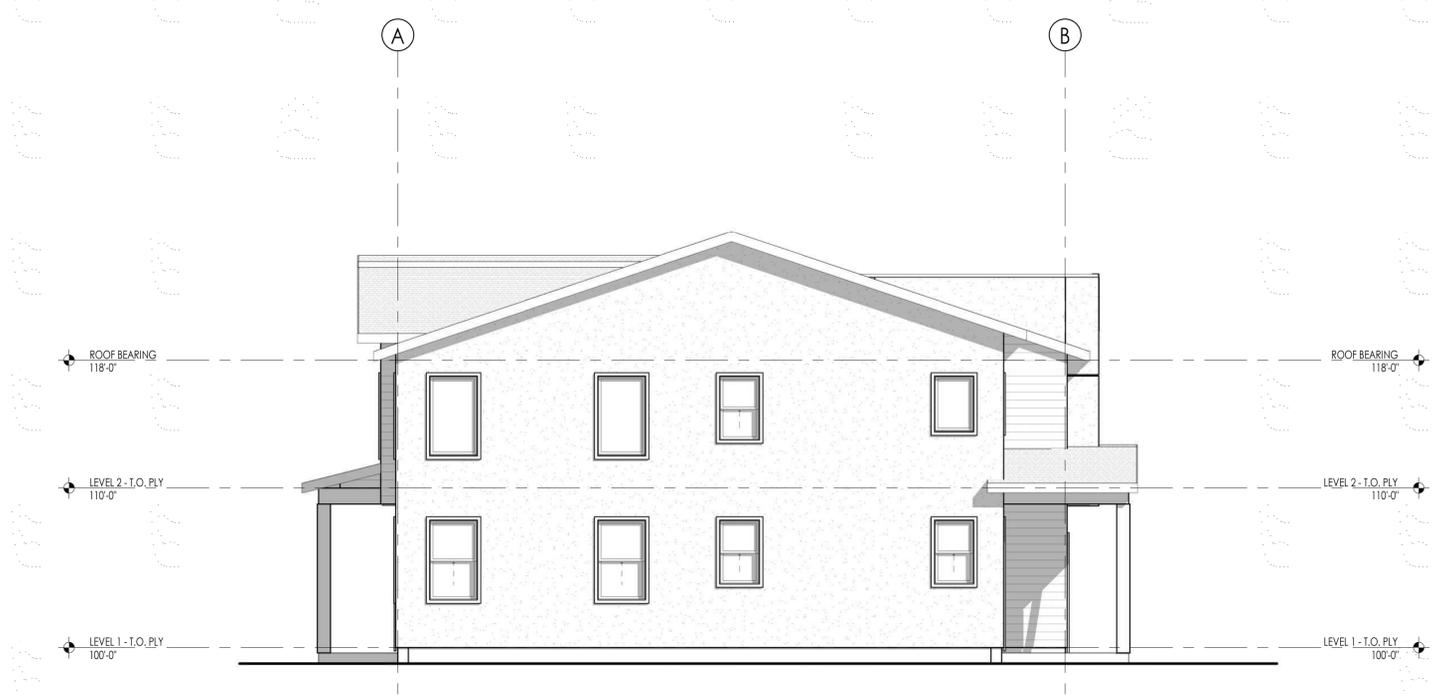
REAR ELEVATION SD

3/16" = 1'-0"

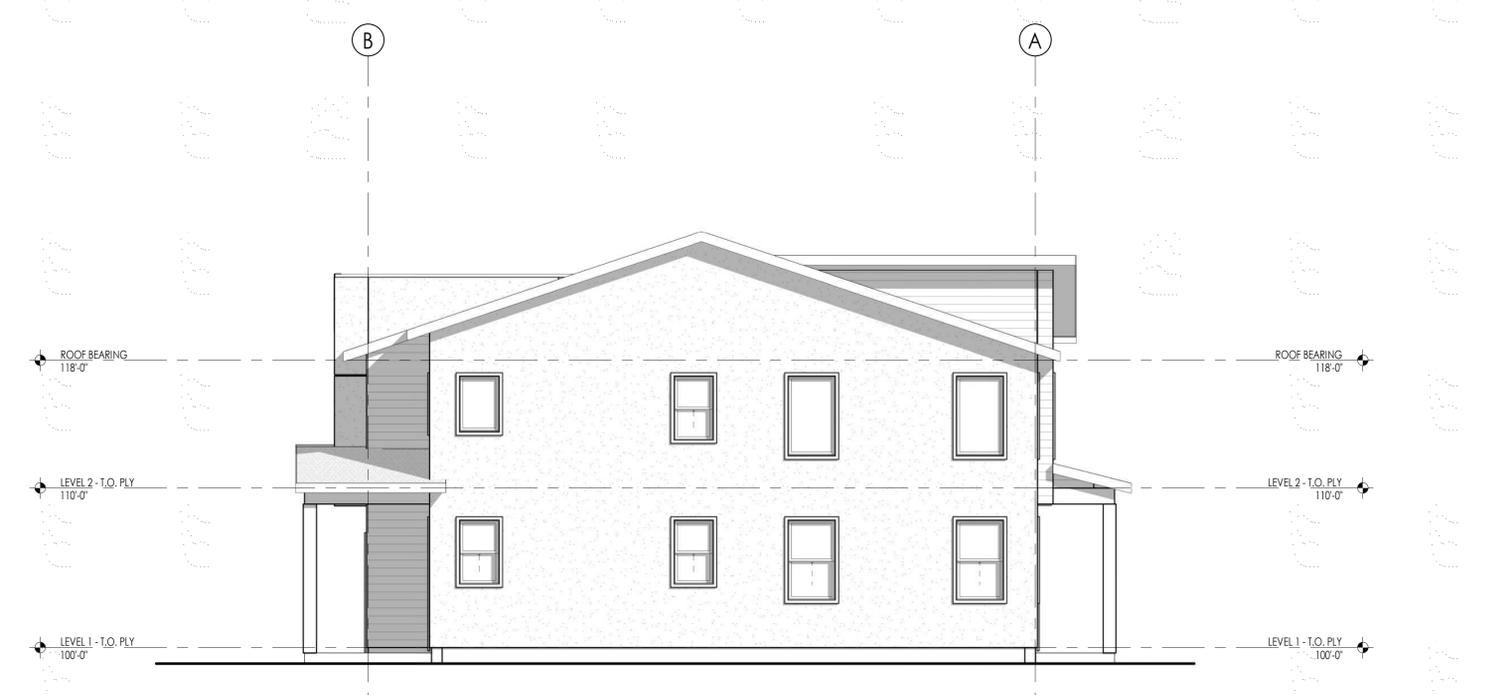
1  
D302



FRONT ELEVATION SD  
3/16" = 1'-0" 1 D303



LEFT ELEVATION SD  
3/16" = 1'-0" 2 D303



RIGHT ELEVATION SD  
3/16" = 1'-0" 3 D303



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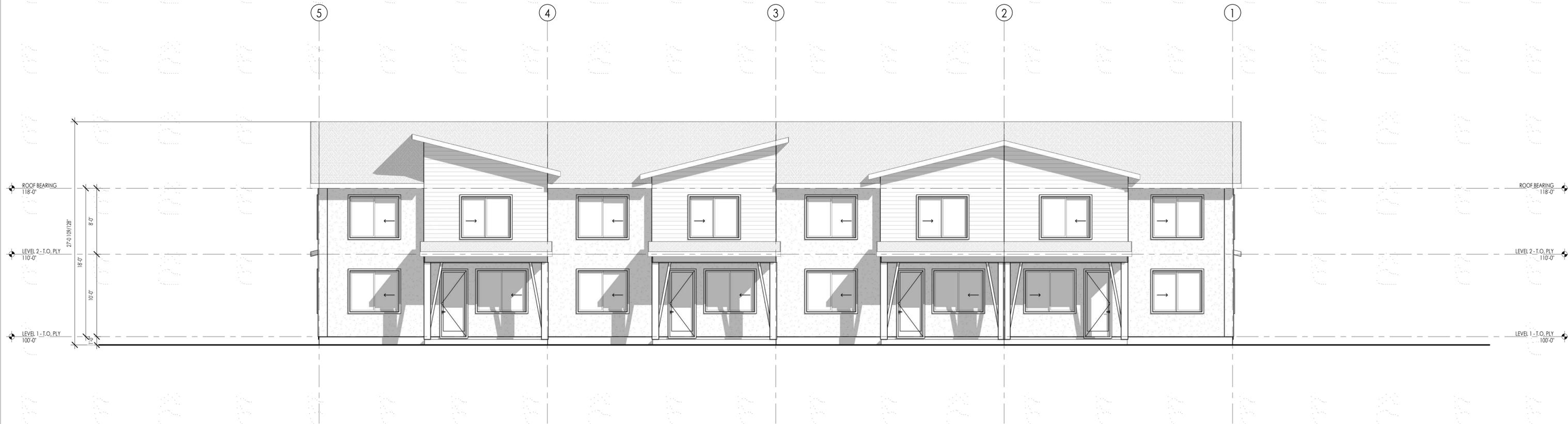
# FIORE TOWNHOMES

FARMINGTON, UTAH

4-PLEX EXTERIOR ELEVATIONS

## D303

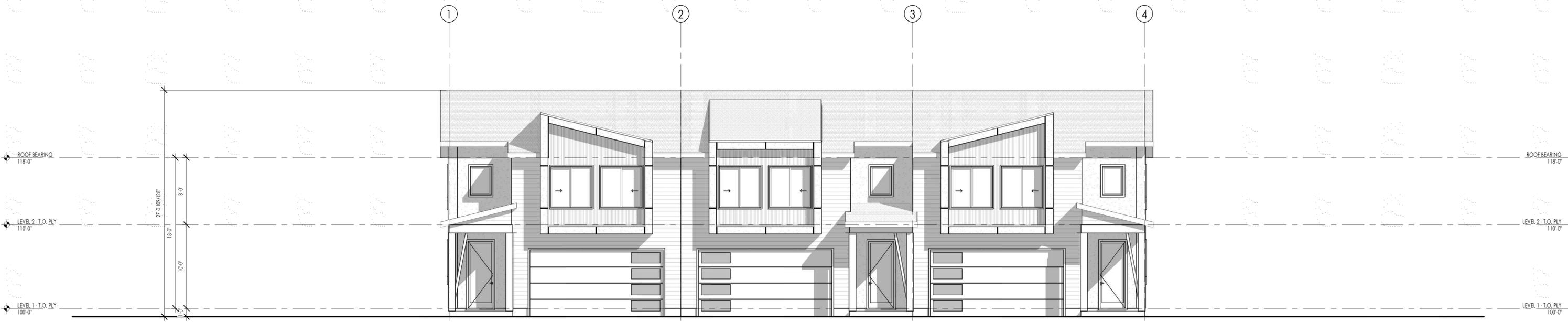
27 AUG, 2020



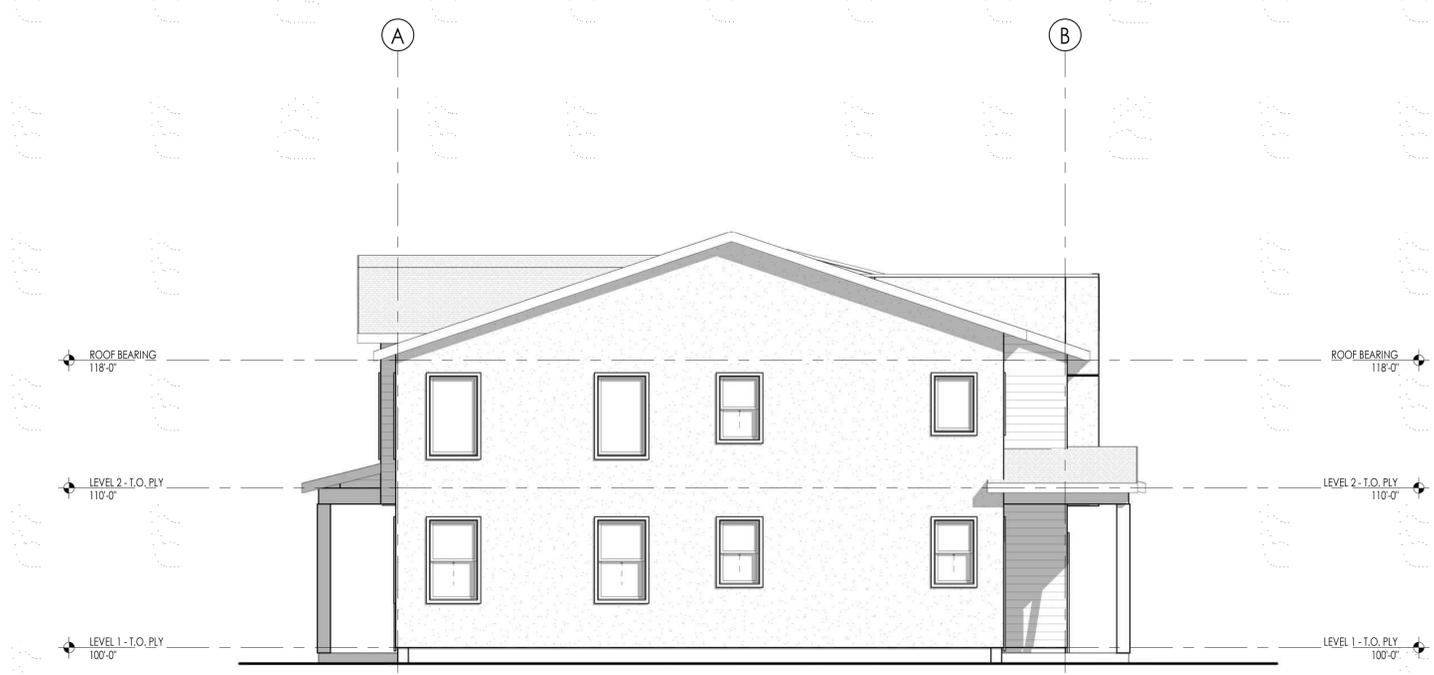
REAR ELEVATION SD

3/16" = 1'-0"

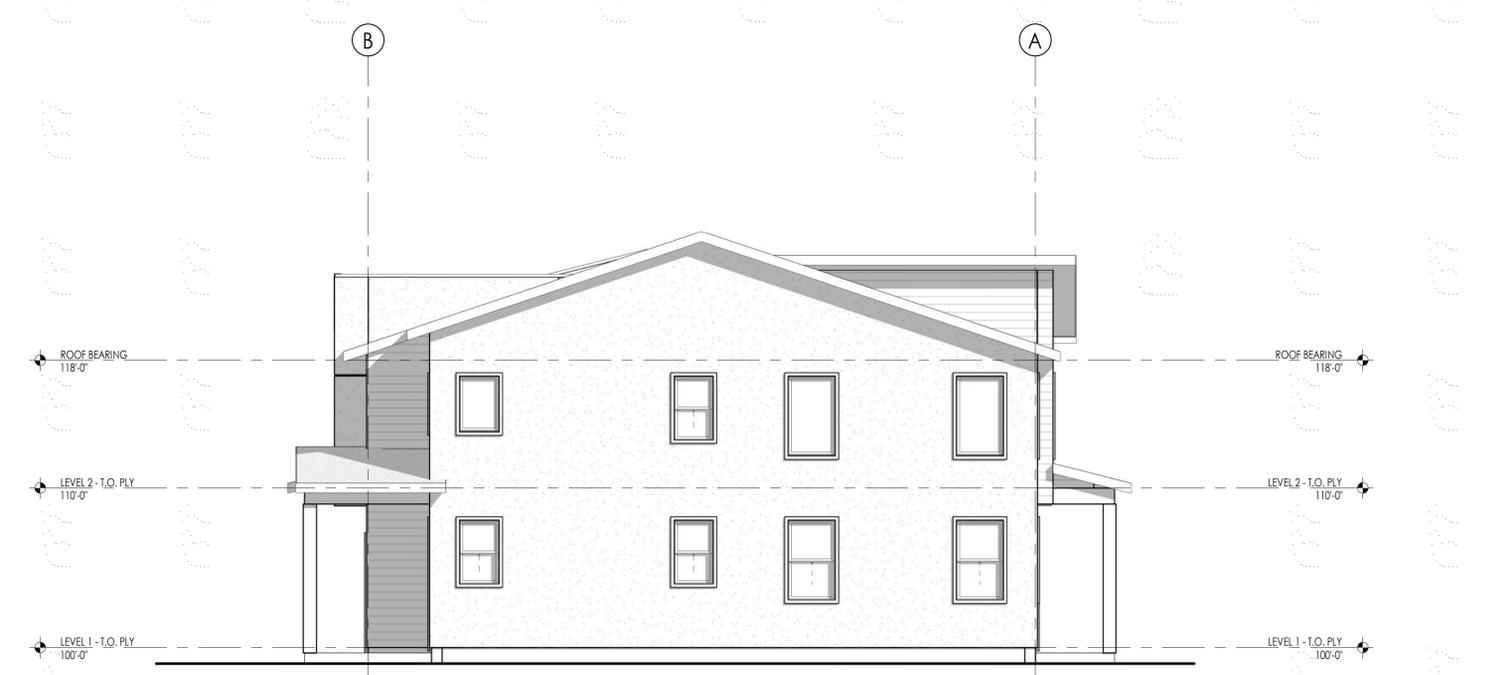
1  
D304



FRONT ELEVATION SD  
3/16" = 1'-0"  
1  
D305



LEFT ELEVATION SD  
3/16" = 1'-0"  
2  
D305



RIGHT ELEVATION SD  
3/16" = 1'-0"  
3  
D305



# FIORE TOWNHOMES

FARMINGTON, UTAH

3-PLEX EXTERIOR ELEVATIONS

D305

27 AUG, 2020

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REAR ELEVATION SD

3/16" = 1'-0"

1  
D306



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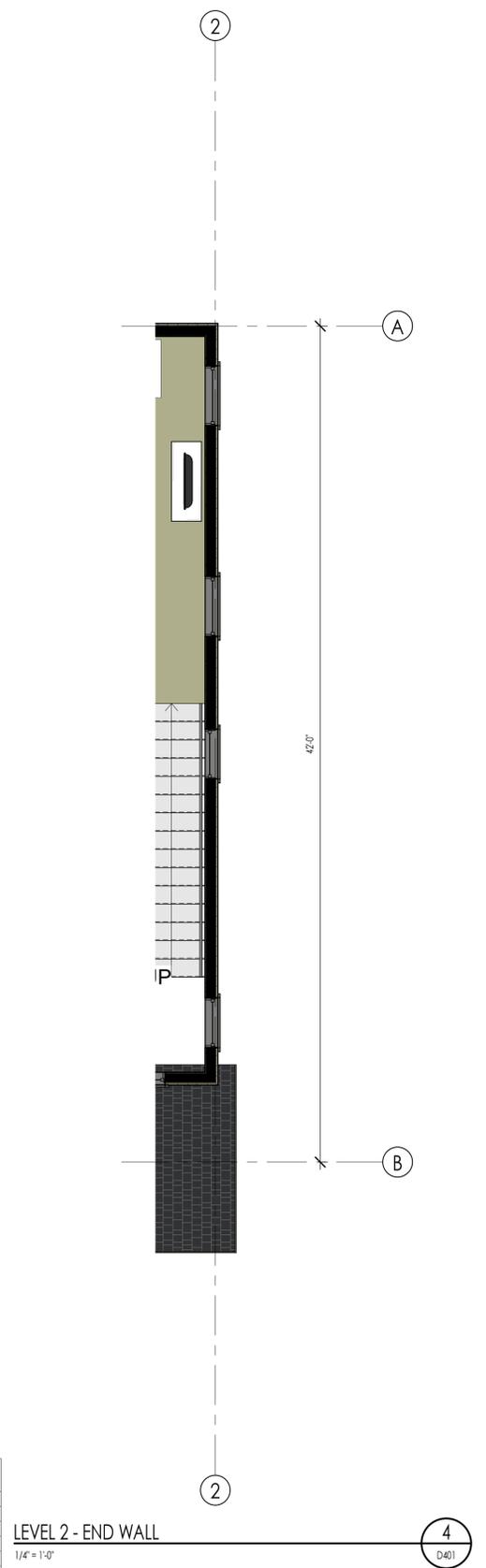
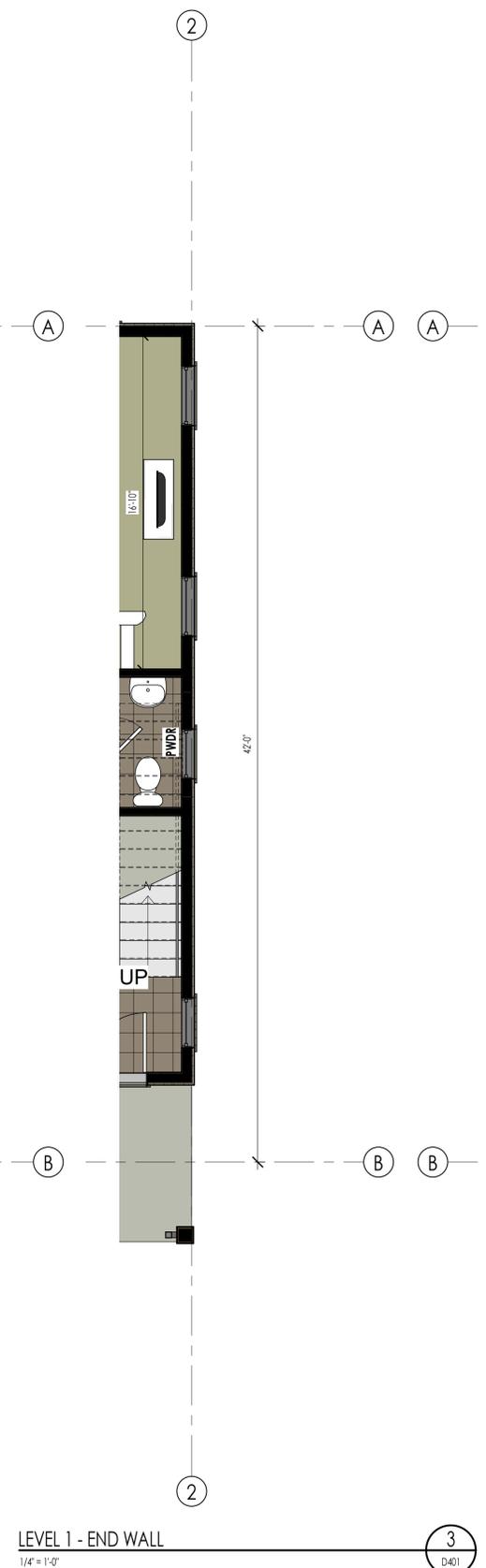
# FIORE TOWNHOMES

FARMINGTON, UTAH

3-PLEX EXTERIOR  
ELEVATIONS

D306

27 AUG, 2020



3 BEDROOM UNIT (Gross Area)	
Name	AREA
LEVEL 1	731 SF
LEVEL 2	1058 SF
GARAGE	1789 SF
	406 SF
	406 SF
	2195 SF



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# GARBET HOMES FIORE TOWNHOMES

FARMINGTON, UTAH

3BD UNIT - FLOOR PLANS

D401

27 AUG 2020

# MATERIAL CHART

## COLOR SCHEME - 01



**ENTRY DOORS**  
Material: Fiberglass  
Manufacturer: TBD  
Color: To Match Charcoal Gray



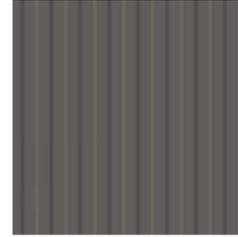
**GARAGE DOORS**  
Material: Aluminum/Glass  
Manufacturer: TBD  
Color: TBD - Anodized Gray



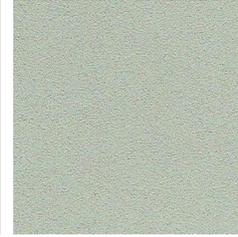
**WINDOWS**  
Material: Vinyl  
Manufacturer: TBD  
Color: White



**FIBER CEMENT LAP SIDING**  
Material: Fiber Cement Lap Siding 6" Exposure  
Manufacturer: TBD  
Color: SW6228 Refuge



**METAL PANEL SIDING**  
Material: EcoEfficient Formed Panel  
Manufacturer: MBCI (Basis of Design)  
Color: Charcoal Gray



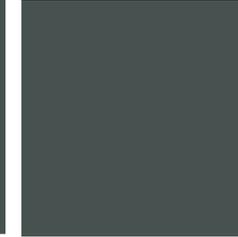
**STUCCO-1**  
Material: Stucco  
Manufacturer: Western One-Coat  
Color: Gray Barn  
DRYVIT, SENECA



**ROOFING**  
Material: Asphalt Shingle  
Manufacturer: GAF Timberline or Equal  
Color: Charcoal



**STEEL COLUMNS/BEAMS**  
Material: Painted Steel  
Manufacturer: TBD  
Color: Match to Charcoal Fascia/Parapet Cap



**FASCIA/TRIM/PARAPET CAP/DRIP EDGE**  
Material: Fiber Cement/MTL  
Manufacturer: TBD  
Color: Charcoal 379 (GenTek)

## COLOR SCHEME - 02



**ENTRY DOORS**  
Material: Fiberglass  
Manufacturer: TBD  
Color: To Match Charcoal Gray



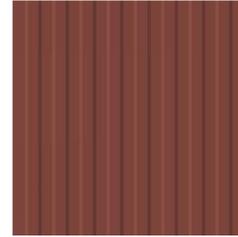
**GARAGE DOORS**  
Material: Aluminum/Glass  
Manufacturer: TBD  
Color: TBD - Anodized Gray



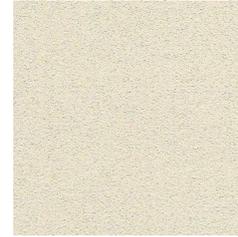
**WINDOWS**  
Material: Vinyl  
Manufacturer: TBD  
Color: White



**FIBER CEMENT LAP SIDING**  
Material: Fiber Cement Lap Siding 6" Exposure  
Manufacturer: TBD  
Color: SW6680 Friendly Yellow



**METAL PANEL SIDING**  
Material: EcoEfficient Formed Panel  
Manufacturer: MBCI (Basis of Design)  
Color: Terra Cotta



**STUCCO-1**  
Material: Stucco  
Manufacturer: Western One-Coat  
Color: Buckskin  
DRYVIT, SENECA



**ROOFING**  
Material: Asphalt Shingle  
Manufacturer: GAF Timberline or Equal  
Color: Charcoal



**STEEL COLUMNS/BEAMS**  
Material: Painted Steel  
Manufacturer: TBD  
Color: Match to Charcoal Fascia/Parapet Cap



**FASCIA/TRIM/PARAPET CAP/DRIP EDGE**  
Material: Fiber Cement/MTL  
Manufacturer: TBD  
Color: Charcoal 379 (GenTek)

## COLOR SCHEME - 03



**ENTRY DOORS**  
Material: Fiberglass  
Manufacturer: TBD  
Color: To Match Charcoal Gray



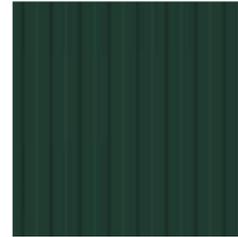
**GARAGE DOORS**  
Material: Aluminum/Glass  
Manufacturer: TBD  
Color: TBD - Anodized Gray



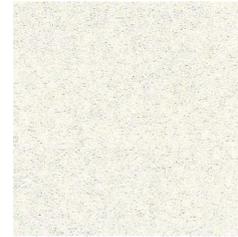
**WINDOWS**  
Material: Vinyl  
Manufacturer: TBD  
Color: White



**FIBER CEMENT LAP SIDING**  
Material: Fiber Cement Lap Siding 6" Exposure  
Manufacturer: TBD  
Color: SW7623 Cascades



**METAL PANEL SIDING**  
Material: EcoEfficient Formed Panel  
Manufacturer: MBCI (Basis of Design)  
Color: Hunter Green



**STUCCO-1**  
Material: Stucco  
Manufacturer: Western One-Coat  
Color: Bright White  
DRYVIT, SENECA



**ROOFING**  
Material: Asphalt Shingle  
Manufacturer: GAF Timberline or Equal  
Color: Charcoal



**STEEL COLUMNS/BEAMS**  
Material: Painted Steel  
Manufacturer: TBD  
Color: Match to Charcoal Fascia/Parapet Cap



**FASCIA/TRIM/PARAPET CAP/DRIP EDGE**  
Material: Fiber Cement/MTL  
Manufacturer: TBD  
Color: Charcoal 379 (GenTek)



6949 S. High Tech Drive Suite 200  
Midvale, UT 84047  
P (801) 352-0075 F (801) 352-7989

August 28, 2020

RE: Fiore PUD Landscaping

To whom it may concern,

We would like to submit the attached documents as our basis of design for the landscaping on this project. These "LocalScape" design requirements and guidelines originate from the Jordan Valley Conservations District, which is focused on being a responsible steward of our natural resources here in Utah. Garbett Homes has used these designs on many of their projects with great success, and would like to continue to use them in areas that do not fall within the conservation district's borders. We believe that this design framework, along with the plantings listed within, will add lasting value to this project and to the city of Farmington.

Sincerely,

Jackson Waters, EIT  
Jr. Project Manager  
FOCUS Engineering & Surveying



Landscape for where you live.

An  
Introductory  
**Guide**

to an innovative,  
practical landscape  
designed for Utah.



[Localscapes.com](http://Localscapes.com)

Free resources & training for Utah homeowners.



# Why Localscapes®?

Before Typical Utah Landscape



After A Utah Localscape



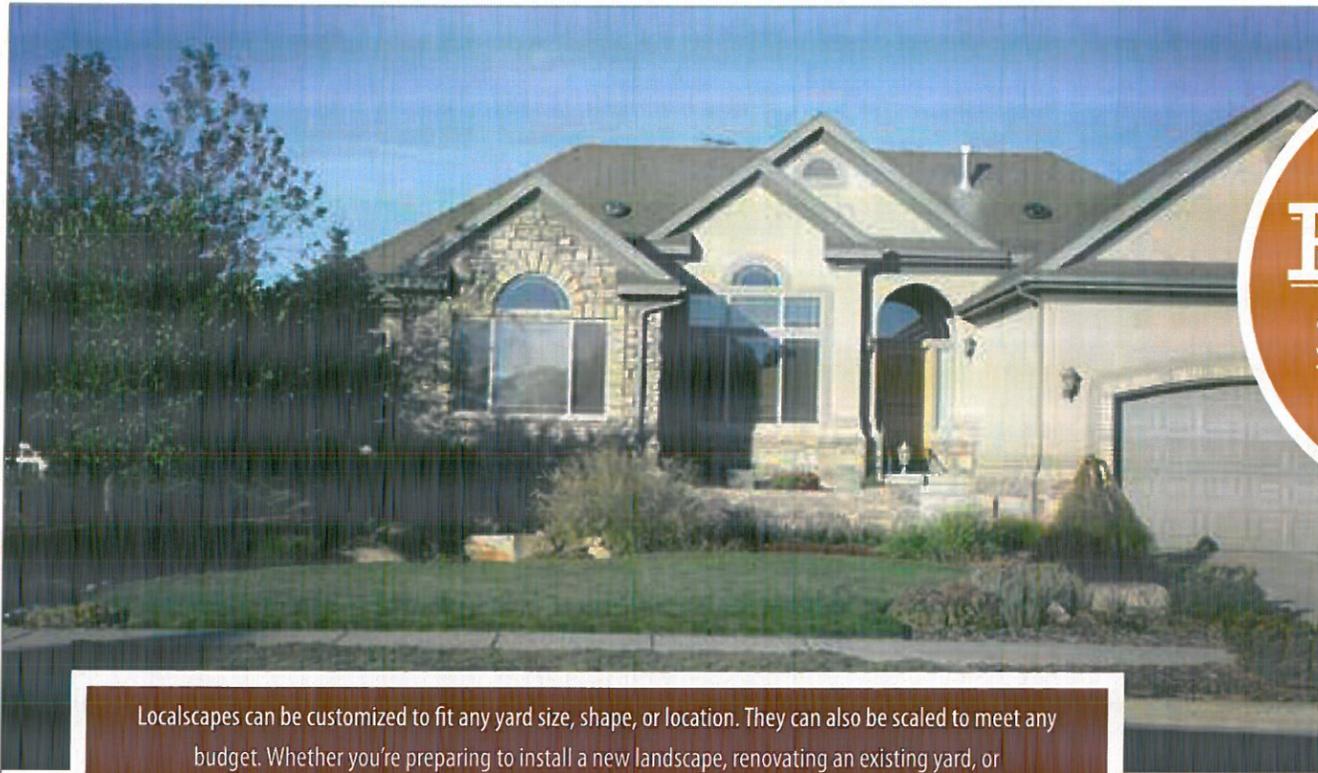
**Utah is different**—Our weather, precipitation, climate, and even culture are unique from other parts of the country. So it only makes sense that in order to grow right, our landscapes need to be different too. That is why Localscapes® came about—a landscaping approach to help Utah homeowners “localize” their yards and create outdoor spaces that work in harmony with our diverse climates.

Throughout most of Utah, we have fierce winters, hot and dry summers, and sometimes salty secondary water. Localscapes consider each of these factors, plus other unique Utah challenges, in the way it approaches landscaping for Utah—and a Localscape is totally customizable to meet your needs.

The premise is straight-forward: following five simple steps, you can have a landscape that works for you ... and thrives anywhere in Utah.

Because Localscapes are designed with Utah in mind, they not only improve the curb appeal of your home, but also increase the functionality of your yard, simplify your irrigation, use water efficiently, and requires less maintenance. Localscapes are **landscapes for Utah.**

- Designed for Utah
- Better functionality
- Less maintenance
- Enhanced curb appeal
- Lower water bill
- Simpler irrigation
- Phased installation



**FAQS**  
about localizing  
your landscape.

Localscapes can be customized to fit any yard size, shape, or location. They can also be scaled to meet any budget. Whether you're preparing to install a new landscape, renovating an existing yard, or **just focusing on one project at a time,** Localscapes makes it possible for even those without professional training to create a design that is both attractive and functional.

Localscapes is a moderate approach to landscaping that works for Utah.

**Localscapes®**

**Lawn-Dominant**



**Xeriscape**



**Is a Localscape expensive?**

What it costs is up to you. Localscapes can be scaled to meet any budget. If you want everything a Localscape has to offer but simply can't afford it, try installing one segment at a time. An easy way to start is in the park strip or side yard.

**What if I like lawn?**

Hey, we like lawn too! Lawn has a place in Localscapes, and in fact, becomes center stage. Now you can enjoy every square inch of your lawn—and your Saturdays too! Less mowing and edging each week leave you with more time to enjoy your yard.

**Can I eliminate all lawn?**

Yes. And it will still look amazing following our guide of design principles. If you want to go without lawn, use concrete, flagstone, gravel, etc. Consider adding an activity zone or gathering area instead. Your maintenance and water use will be even less.

**Is it pet friendly?** Of course. Pets will love the more diverse feel of your landscape. You can even create a pet activity zone, like a dog run, so your pet can have its own space outside.

**How can it be lower maintenance if there are more planting beds and gathering areas?**

Surprising as it seems, grass requires more maintenance than properly-planned and installed planter beds. And gathering areas require virtually no maintenance. Localscapes are lower maintenance by design: mulch and drip irrigation deter weeds, and weekly mowing is much faster. Weeding is typically once a month or less, instead of every week—but only if you follow the prescribed Localscapes weed control recipe. Find it at [Localscapes.com](http://Localscapes.com).

**What if I need help with my Localscape?** You don't have to figure out what to do by yourself! You can find sample designs, classes, and tips to get you started at [Localscapes.com](http://Localscapes.com).

**Can my existing landscape be converted to a Localscape without redoing everything?**

Yep, just follow the Localscapes installation process in reverse. You can even do it a little at a time.

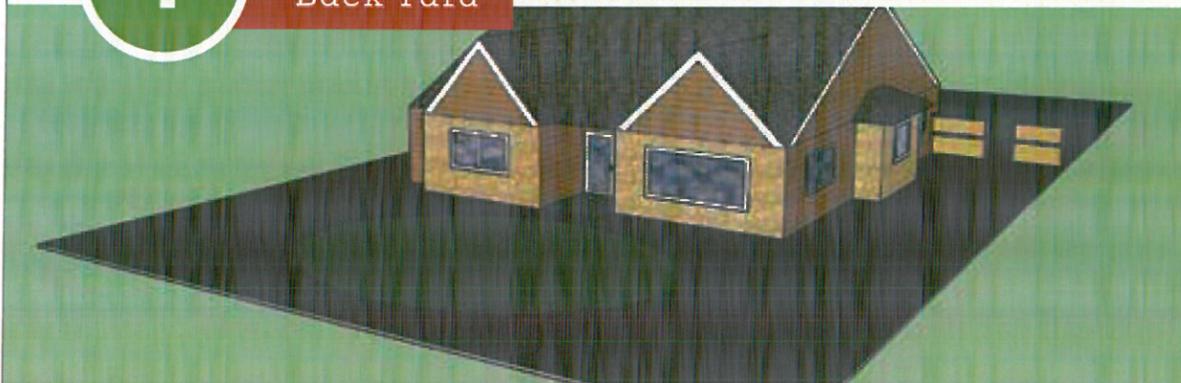
**What if I want something different in my Localscape?**

Localscapes are completely customizable. These guidelines provide a process to help you design and customize your landscape to suit your taste while still reaping all the benefits.

# 5 elements of a Localscape®

## 1 Central Open Shape

Back Yard



A central open shape creates a focal point that makes your landscape appear organized and well maintained. Without it, landscapes can seem chaotic or disorganized. On the flip side, if all you have in your landscape is grass or gravel, there's very little interest.

In Utah, we rely on sprinkler systems because we don't get much rain during the growing season. Keeping lawn in a central open shape allows your sprinklers to work efficiently, and doesn't force them to water oddly-shaped or positioned lawn areas. Lawn is best used on a flat surface—plant slopes with flowers and shrubs. With this design, all of your lawn is available for recreational use with only a single edge to trim and maintain. As a general rule, keep lawn out of park strips and side yards unless they are large enough to create a central open shape and are wider than 8 feet.

Your central open shape can be made of other materials like gravel, pavement, pavers, ground cover, or any low-lying, relatively flat material—especially if you want something even more water thrifty. In a lawnless landscape, gathering areas and activity zones, like a seating area or courtyard, can also function as the central open shape.

## 2 Gathering Areas



Gathering areas are fun spots in your landscape where you can gather with family and friends or sit by yourself for some quiet time. They can be any size or shape, and are a great reason to get out and enjoy your yard. Always wanted a fire pit? Design it in. Want a sun deck, even if there's no pool? Ok! Think gazebos, sitting areas, etc. Think they're not for you? You'll be surprised how easy it is to incorporate one or many into a Localscape, and how much aesthetic value they add to your landscape. Plus, because gathering areas have no lawn or plants, they require no water and virtually no maintenance.

## 3 Activity Zones



Whether you're a retiree wanting to spend more time gardening, someone who enjoys hosting get-togethers, or someone with a young family, a Localscape can accommodate your situation. Activity zones are spaces to recreate, and are as customizable as you are unique. They can range from playsets to vegetable gardens, horseshoe pits, sheds, sport courts, hot tubs, pools or trampolines—whatever your imagination and budget allow. And they all increase yard function while decreasing yard work. (No grass in activity zones, please—you'll thank us later when you don't have to mow around swings and trampolines.)

## 4 Paths



Think connectors. Now that you have all of these great ways to enjoy your yard, paths help you connect and explore your outdoor space. Using appropriate materials will reduce maintenance and give you plenty of options for traversing your yard.

Great options for paths include: stone, pavers, flagstone, or other textured surfaces. The one material paths should never be made of is grass. Narrow lawn strips are difficult to irrigate and require a lot of work to keep them contained. In contrast, paths can save you time and entice you and your family to enjoy yard areas you used to ignore.

## 5 Planting Beds



The final element of a Localscape is the planting beds. They fill in the areas after you plan your central open shape, gathering areas, activity zones, and paths. There are three important things you need to know about the plants you'll use:

### 1) Selection

For a Localscape, choose Utah-friendly plants. Plants that do well here tolerate temperature extremes, use minimal water, and will grow well in the plant "zone" where you live (check with your nursery for what hardiness zone you live in). Choosing the right plants means you'll save money and time because Utah-friendly plants will survive and thrive in your yard for 15, 20, 25 years!

### 2) Placement

Proper placement of plants in a Localscape provides shade, privacy, beauty, and efficiency. For example, grouping plants with similar water needs will optimize your water use. Planting trees strategically will shade your home in summer, reducing your cooling needs. Strategic plantings can also hide meter boxes, electrical boxes, or other unsightly elements in your yard. And because plants and grass areas are always separated in a Localscape, maintenance is decreased.

### 3) Irrigation

Irrigation in a Localscape is just as important as the plants you choose and it's all about efficiency. The trick is to use drip irrigation in all planting beds, which gives each plant exactly the water it needs. Like a few thirstier plants? Group them together and water them appropriately and you'll still save significant amounts of water. Top everything off with 3 to 4 inches of mulch and you'll use less water, cultivate fewer weeds, and add a pretty "finish" to your planting beds.

### Planting Beds cont'd.

## Front Yard

### 1 Central Open Shape

A single open shape is created. May be lawn, groundcover or open gravel area.



### 2 Gathering Areas

"Hardscape" elements including: patios, seating areas, courtyards, and decks.



### 3 Activity Zones

These are dedicated use zones without lawn surfacing for activities, which are not as common in the front yard. The only example shown here is the shed in the side yard.



### 4 Paths

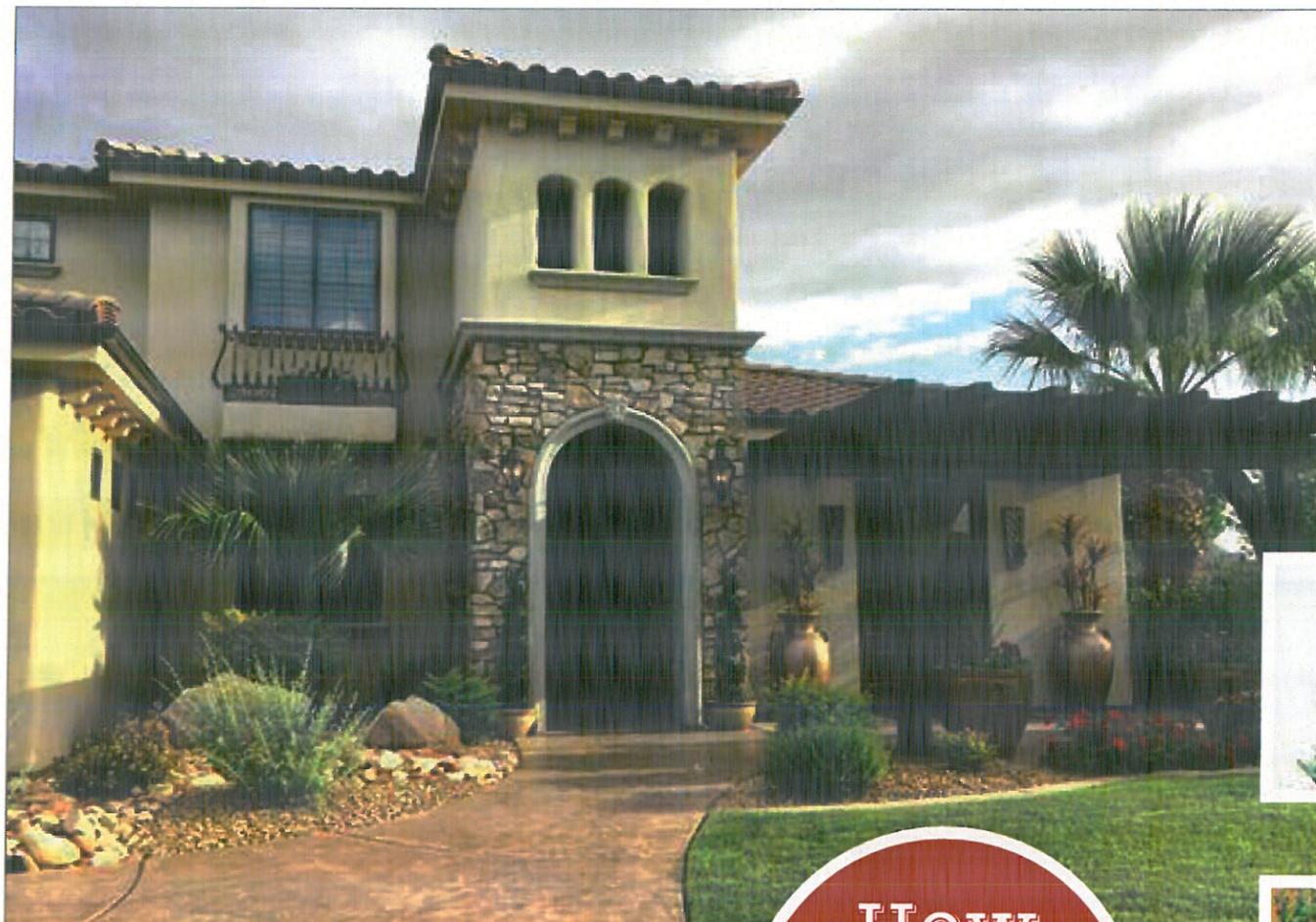
Connect the previous elements with pathways. Paths are never made from lawn but can be concrete, pavers, stone, compacted mulch.



### 5 Planting Beds

The remaining spaces become the planting beds. Always water planting beds with drip irrigation and cover with 3-4" of mulch for maximum weed reduction.





How do I get started?

Visit **Localscapes.com** for information about



Featuring hands-on classes where you'll learn how to proceed in your yard, step by step.

or to download **FREE landscape designs and planting ideas.**

### Not ready for an entire makeover?

If you like the idea but aren't ready to makeover your entire yard, no problem! Localizing your yard can be accomplished in stages, as time and budget permit. Easy places to try it out are in your park strip, side yard, or by trying the "central open shape" idea with your lawn.

#### Flip Your Strip



#### Side Yard Swap



#### Shape the Lawn



## Park Strips are a great place to start!

Check with your city and/or Homeowners Association for any codes or regulations before making changes to your park strip.

Irrigate park strips with drip systems rather than overhead spray to reduce weeds and water use.

Create pathways through the park strip to allow guests parked in front of your home to easily access the sidewalk.

Any plants in a park strip should be no more than 2-3 feet tall. Taller plants block views and impede safety, and can interfere with city maintenance.

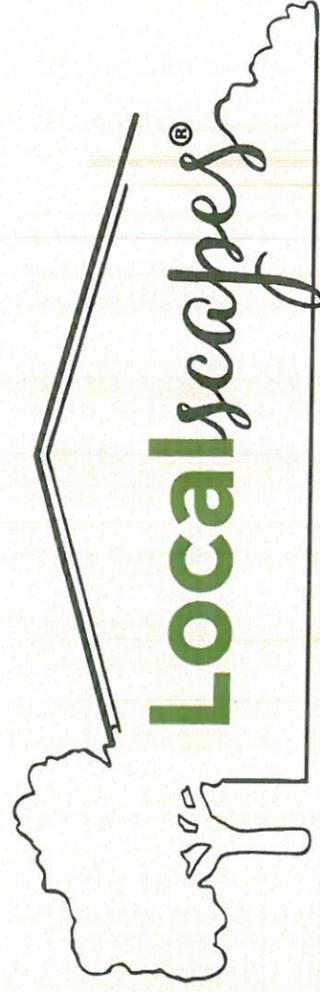
Mulch used in park strips should be a heavy material, like gravel, so it doesn't drift into street drains.

To increase curb appeal, plant density should be at least 60 percent at maturity, not including tree canopies.

FREE pre-designed park strip plans are available for download at [Localscapes.com](http://Localscapes.com)



## Localscapes® Requirements



### Requirements for Localscapes Design

*The following Localscapes Requirements ensure best landscaping practices are applied and result in beautiful, Utah-friendly yards that require less maintenance and water to thrive.*

#### **Localscapes Requirements:**

1. The front yard and backyard are both oriented around a central open shape created by using groundcover, gravel, or lawn.
2. Lawn is not less than 8 feet wide in any location and is not located on slopes. Lawn should be between 1,000- 2,000 square feet in size.
3. Lawn areas are free from obstructions (trees, signs, posts, etc.) with the exception of existing mature trees.
4. Park strips and side yards do not have lawn unless they are large enough to create a central open shape which is not less than 8 feet wide at the narrowest dimension.
5. Gathering areas are hardscaped and placed outside of the central open shape. In a lawnless landscape, gathering spaces can function as the central open shape.
6. Activity zones (vegetable garden, children's play area, storage, etc.) are located outside of the central open shape and are surfaced with bark mulch, gravel, playground chips, hardscape or other non-lawn surfacing.
7. Pathways are made with materials, such as hardscape, organic mulch, or foot-traffic tolerant groundcover. Lawn is not used as a path surface.
8. Plants are drip irrigated and appropriately selected for the region in which the landscape is located. Both native and locally-adapted plants are acceptable.
9. Plants are organized by light and water needs and plant areas are covered by 2-4 inches of mulch to minimize weeds, maintain soil moisture, and enrich the quality of the soil. Mulch may be organic (bark, compost, etc.) or inorganic (gravel, rock chips etc.) as per homeowner preference.

Utah

LocalScapes

to an innovative,  
practical landscape  
designed for Utah.



Landscape for where you live.

Medium Tree

Part Shade  
Perennial Mix

Large  
Ornamental Grass

Large Tree

Small Shrub

Flowering Shrub

Evergreen Shrub

Full Sun  
Perennial Mix

Medium Shrub

Large Shrub

Med. Ornamental  
Grass

Small Ornamental  
Grass

Little Trudy  
Catmint

Hamel  
Fountain Grass

Thyme

Vegetable Garden  
(Activity Zone)

Central Open Shape

Backyard Patio  
(Gathering Space)

Gazebo  
(Gathering Space)

Focal Point Tree

Columnar Shrub

Path

Path

Shade Shrub

Small Tree

Shade  
Perennial Mix

Shed  
(Activity Zone)

Front Yard Seating  
(Gathering Space)

Central Open Shape

Path

Medium Shrub

Medium Tree

Focal Point Shrub

Bright Edge Yucca

Sundancer Daisy

# Sample Landscape Plan

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# Plant List

Symbol	<b>LARGE TREES (select one)</b>
	Zelkova serrata 'Green Vase'- GREEN VASE ZELKOVA Celtis occidentalis- COMMON HACKBERRY Cladratus kentuckea- YELLOWWOOD
	<b>MEDIUM TREES (select one)</b> Acer negundo 'Sensation'- SENSATION BOX ELDER Prunus virginiana 'Schubert'- CANADA RED CHOKECHERRY Acer grandidentatum- BIG TOOTH MAPLE
	<b>SMALL TREES (select one)</b> Acer tartaricum 'Garann'- HOT WINGS MAPLE Amelanchier laevis -ALLEGHANY SERVICEBERRY Cercis canadensis 'JN2' THE RISING SUN REDBUD
	<b>FOCAL POINT TREE (select one)</b> Cedrus atlantica 'Glauca-pendula' WEEPING BLUE ATLAS CEDAR Picea abies 'Pendula'- WEEPING NORWAY SPRUCE Picea glauca 'Pendula'- WEEPING WHITE SPRUCE
	<b>FOCAL POINT SHRUB (select one)</b> Cotinus coggygria 'Ancot'- GOLDEN SPIRIT SMOKEBUSH Cotinus coggygria 'Grace'- GRACE PURPLE SMOKEBUSH Rhamnus frangula 'Asplenifolia'- NARROW LEAF BUCKTHORN
	<b>LARGE SHRUB (Select one for each grouping)</b> Viburnum x burkwoodii- BURKWOOD VIBURNUM Chamaebatiaria millefolium- FERNBUSH Cornus sericea 'Budd's Yellow'- BUDS YELLOW DOGWOOD
	<b>MEDIUM SHRUB (select one for each grouping)</b> Cornus alba 'Bailhalo'- IVORY HALO DOGWOOD Buddleja x 'Miss Molly'- MISS MOLLY BUTTERFLY BUSH Caragana frutex 'Globosa'- GLOBE PEASHRUB
	<b>SMALL SHRUBS (select one for each grouping)</b> Spirea japonica 'Walbuma'- MAGIC CARPET SPIREA Berberis thunbergii 'Goruzam'- GOLDEN RUBY BARBERRY Buddleja 'Blue Chip' Lo & Behold- BLUE CHIP BUTTERFLY BUSH
	<b>FLOWERING SHRUB (select one for each grouping)</b> Caryopteris x clandonensis 'Dark Knight'- DARK KNIGHT BLUEBEARD Physocarpus opulifolius 'Seward'- SUMMER WINE NINEBARK Syringa x 'Penda'- BLOOMARANG LILAC
	<b>SHADE SHRUB (Select one for each grouping)</b> Symphoricarpos albus- SNOWBERRY Juniperus communis- COMMON JUNIPER Taxus x media 'Huber's Tawny Gold'- TAWNY GOLD YEW

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# Plant List

Symbol	<b>COLUMNAR SHRUB (Select one for each grouping)</b>
	Juniperus scopulorum 'Skyrocket'- SKYROCKET JUNIPER Rhamnus frangula 'Ron Williams'- RINE LINE BUCKTHORN Sambucus nigra 'Eiffel 1'- BLACK TOWER ELDERBERRY
	<b>EVERGREEN SHRUB (select one for each grouping)</b>
	Pinus mugo 'Carsten's Wintergold'- CARSTENS MUGO PINE Juniperus x pfitzeriana 'MonSan'- SEA OF GOLD JUNIPER Lavandula angustifolia- ENGLISH LAVENDER
	<b>LARGE ORNAMENTAL GRASS (select one for each grouping)</b>
	Saccharum ravennae- RAVENNA GRASS Sorobolus wrightii 'Windbreaker'- GIANT SACATON Miscanthus x giganteus- GIANT CHINESE SILVERGRASS
	<b>MEDIUM ORNAMENTAL GRASS (select one for each grouping)</b>
	Calamagrostis x acutiflora 'Eldorado'- FEATHER REED GRASS Panicum virgatum 'Shenandoah'- SHENANDOAH SWITCH GRASS Miscanthus sinensis 'Morning Light'- MAIDEN GRASS
	<b>SMALL ORNAMENTAL GRASS (select 1-3 for each grouping)</b>
	Pennisetum alopecuroides 'Hameln'- FOUNTAIN GRASS Schizachyrium scoparium 'Blaze'- BLAZE LITTLE BLUESTEM Helictotrichon sempervirens- BLUE OAT GRASS
	<b>FULL SUN PERENNIAL MIX (select 1-3 for each grouping)</b>
	Chrysanthemum x superbum 'Becky'- SHASTA DAISY Coreopsis verticillata 'Zagreb'- THREADLEAF TICKSEED Echinacea purpurea- PURPLE CONEFLOWER Gaura lindheimeri 'Whirling Butterflies'- GAURA Hymenoxys acaulis- SUNDANCER DAISY Nepeta racemosa 'Walker's Low'- WALKER'S LOW CATMINT
	<b>PART SHADE PERENNIAL MIX (select 1-3 for each grouping)</b>
	Aquilegia spp.- COLUMBINE Nepeta x 'Psfike'- LITTLE TRUDY CATMINT Iris pallida 'Variegata'- VARIEGATED SWEET IRIS Scrophularia macrantha- REDBIRDS IN A TREE Alchemilla mollis- LADYS MANTLE Centranthus ruber- JUPITER'S BEARD
	<b>SHADE PERENNIAL MIX (select 1-3 for each grouping)</b>
	Vinca minor 'Bowles'- BOWLES COMMON PERIWINKLE Brunnera macrophylla 'Looking Glass'- HEARTLEAF BRUNNERA Heuchera sanguinea- CORAL BELLS Hakonechola macra 'All Gold'- JAPANESE FOREST GRASS Lamium maculatum 'White Nancy'- SPOTTED DEADNETTLE Bergenia 'Bressingham White'- BERGENIA