



HISTORIC BEGINNINGS • 1847

**Farmington City Planning Commission**

**October 8, 2020**



## AGENDA PLANNING COMMISSION MEETING

October 8, 2020

Public Meeting at the Farmington City Hall, 160 S. Main Street, Farmington, Utah.

Study Session: 6:30 p.m.

**Regular Session: 7:00 p.m.**

*Farmington City Planning Commission meetings, including this meeting, are open to the public. In consideration of the COVID-19 pandemic, if necessary, members of the public wishing to attend this meeting are encouraged to view the meeting online. In the event this occurs, the link to view the hearings live and to comment electronically can be found on the Farmington City website at [www.farmington.utah.gov](http://www.farmington.utah.gov). In-person attendance is also an alternative, but any in-person attendance/gathering will meet the latest governmental restrictions related to the COVID-19 virus. If you wish to email a comment for any of the listed public hearings, you may do so at [crowe@farmington.utah.gov](mailto:crowe@farmington.utah.gov) by 5 p.m. on the day of.*

- 7:00 1. Minutes  
2. City Council Meeting Report

### **SUBDIVISION/PLANNED UNIT DEVELOPMENT APPLICATIONS**

- 7:05 3. Josh Cummings/Phil Holland – Applicant is requesting a recommendation for Schematic Plan and Preliminary PUD Master Plan approval for the proposed Park and Main subdivision, consisting of 6 residential lots and 1 office building lot on 3.1 acres of property located at approximately 744 N Main St in the BP (Business Park) and LR-F (Large Residential-Foothill) zones. (S-6-20)

### **MASTER PLAN/ZONING AMENDMENTS**

- 7:20 4. E & H Land/Jim and Tana Besendorfer (Public Hearing) – Applicant is requesting recommendation for Project Master Plan/Development Agreement approval and approve a schematic plan for the proposed Auto Spa Car Wash, located at approximately 1200 W/Park Lane (1.72 acres) in the GMU (General Mixed Use) zone. (PMP-4-20)
- 7:20 5. E & H Land/Bryce Thurgood (Public Hearing) – Applicant is requesting recommendation for Project Master Plan/Development Agreement and schematic plan approval for the proposed Everly Apartments, located at approximately 250 N 1300 W, consisting of dwelling units on 13.18 acres in the GMU (General Mixed Use) and RMU (Residential Mixed Use) zones. (PMP-5-20)

### **OTHER BUSINESS**

- 8:10 6. Miscellaneous, correspondence, etc.
- Station Park Center Cal/Scott Arrington (Public Hearing) – Applicant is requesting site plan approval and recommendation to amend a development agreement to allow consideration of a Quick Quack Car Wash, located on the northern portion of property (5.74 acres) at 1052 W Park Lane, in the GMU (General Mixed Use) zone. (SP-2-20)
  - Remaining 2020 Schedule
  - Other

*Please Note: Planning Commission applications may be tabled by the Commission if: 1. Additional information is needed in order to take action on the item; OR 2. If the Planning Commission feels, there are unresolved issues that may need additional attention before the Commission is ready to make a motion. No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commissioners. The Commission may carry over Agenda items, scheduled late in the evening and not heard to the next regularly scheduled meeting.*

Posted October 5, 2020

Carly Rowe  
Planning/Recording Secretary

**FARMINGTON CITY  
PLANNING COMMISSION  
SEPTEMBER 3, 2020  
ELECTRONIC AND IN PERSON MEETING**

---

**STUDY SESSION**

*Present: Chairman Roger Child, Vice Chairman Alex Leeman, Greg Wall, Rulon Homer, Russ Workman, Larry Steinhorst, and Alternate Commissioner Inger Erickson. Staff: Community Development Director David Petersen, Recording Secretary Carly Rowe, Planning/GIS Specialist Shannon Hansell and Associate City Planner Meagan Booth. Excused: Commissioner Mike Plaizier*

---

**REGULAR SESSION**

*Present: Chairman Roger Child, Vice Chairman Alex Leeman, Greg Wall, Rulon Homer, Russ Workman, Larry Steinhorst, and Alternate Commissioner Inger Erickson. Staff: Community Development Director David Petersen, Recording Secretary Carly Rowe, Planning/GIS Specialist Shannon Hansell and Associate City Planner Meagan Booth. Excused: Commissioner Mike Plaizier*

Roger Child opened the meeting at 7:05 PM.

**Item #1 Minutes**

Rulon Homer made a motion to approve the minutes from August 6, 2020. Alex Leeman seconded the motion, which was unanimously approved.

**Item #2 City Council Report**

Dave Petersen reported. He said the City Council will turn the Park and Main project back over to the Planning Commission to handle the unresolved issues. The City Council likes the one connection to Main Street, the garages to the back, and the protection of the hillside. For Chestnut Farms, the applicant felt blindsided and asked the City Council to table the vote so the applicant could talk further with Staff. The City Council did not hold the public hearing that night. Petersen said Chestnut Farms Preliminary Plat and Final Plat will come back to the Planning Commission. Greg Wall questioned the yield plan. Petersen said the yield plan showed how many lots were possible using the Planned Unit Development (PUD), but the City can still decide the number of lots.

Alex Leeman made a motion to hear item #4 prior to item #3 due to length of the item. Russ Workman seconded the motion.

**CONDITIONAL USE APPLICATIONS**

**Item #4 Andrew and Andrea Gooch (Public Hearing) – Applicant is requesting conditional use approval to exceed the minimum driveway width on 0.30 acre of property located at 473 S 950 W in the AE (Agriculture Estates) zone. (C-7-20)**

The applicant requests to exceed the maximum allowed curb cut width by five feet to access their third garage bay and parking pad. This request would increase the driveway width from 30 feet to 35 feet. They do still need to obtain a Farmington City excavation permit and submit a site plan to the City, addressing storm water and grading concerns related to the driveway expansion. It is not significantly increasing any safety issues. Staff has received a concern from a neighbor, who had storm water that entered into their back yard.

(Zoom) The contractor (CWT Construction) indicated that they do want to go 36 feet 8 inches instead of the listed 35 feet. They have poured a curb to minimize the storm water going onto the neighbor's property.

**Roger Child** opened and closed the **Public Hearing at 7:20 PM** due to no comments received via the meeting.

**(Email)** was received and will be included at the end of this record.

#### **MOTION**

**Russ Workman** made a motion that the Planning Commission approve a conditional use permit allowing an extension of an existing driveway and associated curb cut up to an additional 6 feet 8 inches, subject to all applicable Farmington City ordinances and development standards and the following conditions:

1. The applicant shall obtain a Farmington City Excavation Permit prior to construction.
2. The applicant must reflect the change on the site plan and address all storm water and grading concerns related thereto.

**Rulon Homer** seconded the motion, which was unanimously approved.

#### Findings for Approval:

1. The proposed driveway extension does not significantly increase safety issues.
2. There is a driveway adjacent to the proposed driveway. However, there will be a significant refuge available for pedestrians between the driveways along this street.

#### **SUBDIVISION/ZONING AMENDMENTS**

**Item #3 Teton Investment Holdings LLC/CW Home (Public Hearing) – Applicant is requesting Preliminary PUD Master Plan approval and Subdivision Schematic Plan for The Station Planned Unit Development (PUD) consisting of 50 lots on 10.17 acres of property located in the R (Residential) and LR (Large Residential) zones at approximately 850 N Lagoon Drive. (S-12-20)**

**Dave Petersen** presented this item. He said over two years ago that the City Council and Planning Commission wanted this zoned R (Residential) in order to not allow Accessory Dwelling Units (ADU). The proposal now is more dense than a R Zone usually is because of Transfer of Development Rights (TDRs), but it may be worth it to reserve residential parcels for non-residential uses. The schematic plan now compared to the one 1.5 years ago is 20 dwelling units less because of the wetlands, and lot sizes remaining basically the same. The lot width increased in the current plan. Sidewalk is on one side of the street, as it was before. They went from seven dead-end, non-conforming streets to none. The open space is arguably more because the wetland space will remain open. There is connection to the property to the north to allow access in case those property owners want to develop in the future.

**Petersen** said he would like the Planning Commission to consider tabling this because there are still some details to be worked out. The landscape plan needs to be looked at by the Site Plan and Architectural Review Committee (SPARC). The building elevations on the corner lots need to be reviewed. The three homes against Main Street need to compliment and fit in there. The landscaping transition from the two office parcels to the west also needs to be good. Also, Staff would like to push this to the City Council to hold a Public Hearing for Preliminary PUD Master Plan in order for the developer to get much-needed input while the project is still being reviewed by the SPARC. It is also including no access from Lagoon Drive to the subdivision.

Timeline—Before The Station PUD (Previous Actions by the City)			
Application/Request	Result	By	Date
General Plan Amendment Map and Text (MP-3-03)	<ul style="list-style-type: none"> <li>○ Recommendation by Planning Commission</li> <li>○ Approved by City Council</li> </ul>	PC CC	5/13/04 7/7/04
Chapter 19 (CMU) of the Zoning Ordinance enacted (ZT-6-04)	<ul style="list-style-type: none"> <li>○ Recommendation by Planning Commission</li> <li>○ Approved by City Council</li> </ul>	PC CC	11/11/04 12/1/04
East Park Lane Small Area Master Plan (MP-1-18)	<ul style="list-style-type: none"> <li>○ Recommendation by the Planning Commission</li> <li>○ Approved by City Council</li> </ul>	PC CC	3/8/18 4/17/18
East Park Lane Phase II [and III] Rezone and Schematic Plan (Z-10-18 and S-26-18)	<ul style="list-style-type: none"> <li>○ East side of Lagoon Dr rezoned to R</li> <li>○ West side of Lagoon Dr rezoned to CMU</li> <li>○ Land adjacent to SR 106 remains LR</li> <li>○ Arrange a TDR to transfer residential density from the west to the east</li> <li>○ Schematic Plan Approved</li> </ul>	PC CC	Rec. 1/10/19 Approved 2/5/19
East Park Lane Phase II Subdivision (S-26-18)	<ul style="list-style-type: none"> <li>○ Preliminary Plat Approved for 2 lots W of Lagoon Dr</li> <li>○ Final Plat Approved for 2 lots W of Lagoon Dr</li> </ul>	PC PC	4/18/19 2/20/20
The Station PUD (S-12-20)	○ ?		

Schematic Plan Comparison Table											
Schematic Plan	Acres	DU*	DU/Acre	Avg. Lot Size sf	Avg. Lot Width (feet)	Side-walks One Side of Street	Nonconforming dead-end streets	Open Space	Set-Backs **	Connections to Main Street & to the north	
East Park Lane “Phase III” 2/5/19 (S-26-18)	10.17	70	6.9	4,918	56.0	Yes	7	Less	Same	1	0
The Station 9/3/20 (S-12-20)	10.17	50	4.9	4,892	57.6	Yes	0	More	Same	1	1
* Note: A wetland delineation prepared after Feb. 2019 resulted in a loss of 20 lots on-site. ** Setbacks—Front: 20’; Side: 5’; Rear: 15’; Side Corner: 10’.											

**Question from Staff:** Are the major elements of the subdivision schematic plan (and the Preliminary PUD Master Plan) for The Station consistent with the schematic plan previously approved for East Park Lane “Phase III?”

**Darlene Carter** (1222 W Legacy Crossing Blvd., Centerville, Utah) on behalf of CW Development Group addressed the Commission to present the Schematic and Preliminary Plat. She appreciates Staff feedback that has been given over the last 90 days. Active adults and growing families would be attracted to their development with two different lots sizes.

The wider lots would accommodate a three-car garage. Smaller lots with little yard maintenance are in demand. They would like to consider the commercial use on the other side and have no homes facing Lagoon Drive. There is a 14-foot landscaping buffer on the rear of the properties. They studied the Fairways at Oakridge, and they have offered elements of that in their plan. Amenities include a dedicated space for a pickle ball court and tot lot. Sidewalks are throughout the community, as well as street lights and tree landscaping. A turn for firetrucks was added due to a Public Works recommendation. The community will be under Covenants Codes and Restrictions (CCRs) and Home Owners Association (HOA) to maintain all the common areas, amenity spaces, and exterior along Lagoon Drive.

**Inger Erickson** asked about the garages being closer to the street than the front door, if there are any ramblers, and if any yards have room for swing sets. **Carter** said the front setback is 20 feet for the garage, which does protrude out. There are plans with everything on the main floor, plus a bonus room upstairs. All the lots are 40 or 60 feet wide, with a 15 foot rear setback. There is also a playset in the community. There is 10 feet between each of the homes at the narrowest.

**Greg Wall** asked if fenced-in areas are maintained by the HOA. **Carter** replied that only the common areas are.

**Roger Child** asked questions about the hammerhead and sidewalk only on one side of the road with no park strip. It directly abuts the curb and gutter. **Carter** said that they consulted with Staff and Public Works about this. **Child** said the standard road section allows for a park strip between the road and sidewalk so there is room for the snowplowed snow not to block the sidewalk. He would like to see things shifted to allow for sidewalks on both sides of the road or at least for park strips. He said the TDRs have not been solidified yet, although he is personally in favor of that. This proposal is an efficient layout and he likes the architecture. The cul-de-sac to the farthest north will reserve a right-of-way in case of future development. He questioned if the future path of Lagoon Drive is planned to go through wetlands.

**Inger Erickson** said each home is on about 0.08 of an acre, and asked if there was a location with similar lot sizes that has been developed so that Commissioners could drive by and take a look at them. **Carter** said there are a variety of lot sizes, but the average lot size is 0.08 for only those 10 homes there on 850 North. There are other lots that are larger. Similar projects include Eaglewood Village in North Salt Lake, Cherry Heights north of Cherry Hill, and a node in Sunset Equestrian Estates in West Kaysville.

**Greg Wall** mentioned the street name, that he initially read it as "Devil Lane" instead of "Debi Lane." He suggested it be Debi Court instead.

**Alex Leeman** said he really likes the idea overall. He wants to make sure there is enough screening on the backyard treatments that back on to Lagoon Drive. He suggested having something in the CC&Rs that prohibit gates along that street so that people don't back boats into their backyards there. He asked that they brainstorm other development names that don't include the word "Station," as there are a lot of developments in Farmington with the same word in them. **Carter** said they are open to changing the name.

**Inger Erickson** asked about naming the roads in the development after historic names in the area, as many homes there are over 100 years old. **Carter** said they would consider this.

**Roger Child** opened the Public Hearing at 8:07 PM.

**(Zoom) Lori Conover** (469 Quail Run Rd., Farmington) said she liked the idea of street names honoring the history of the City. She said it seemed like there were a lot of units crammed into a small space. She would like to see bigger lots. She said she is blindsided by the houses on Main Street. She said looking at the back and side of a house is not blending into Main Street, and she was disappointed. She wants to try to preserve Main Street.

**(Zoom) Laurel Cahoon** (877 N Main St., Farmington) said her property is surrounded on three sides by this project. She likes that there are three rather than four houses on the area near her home. She is concerned about the property line

being properly identified on the north of her property. She would like the proposed homes there to be pushed a bit further north, and not to have a street there as originally planned directly to the north of her property. She is concerned about the accessibility and traffic on Main Street. She is afraid it will get too congested.

(In Person) **Doug Wood** (823 N Main St., Farmington) said that 400 feet of his property borders this project. He feels he is being blocked off from future development and would like a stubbed road. He would like to see big and small houses interspersed together, as well as a significant fence to block the backyards from his property.

(In Person) **Eric Astend** (1033 N Main St., Farmington) said he lives half a mile north of this project. He said very small lots on Main Street don't help them blend in with what is existing there. He said he feels for the Wood family, who will be gaining 11 neighbors all at once. He would like to see a sidewalk on Main Street. He is concerned with the small lots and wants to see more public space like a family park in light of the wetlands in the area. He wants a walking trail between Shephard and Park Lane to connect into other trail networks.

(In Person) **Jeff Erickson** (1307 Meadowbrook Court, Farmington) said he wants to have Main Street remain iconic aesthetically.

(Email) **Howard Hess** (947 Main St) emailed comments and they will be included at the end of the record.

**Roger Child** closed the Public Hearing at 8:26 PM.

**Russ Workman** asked Staff to respond to **Doug Wood** regarding access to his property. **Petersen** said access to the Wood property makes sense and could easily be done. **Meagan Booth** mentioned a switch of the smaller lots moved to the west side and swap those densities, blending density from the road in, as is typical with trends. **Petersen** said areas on the periphery are important for the Planning Commission to address. He would like to visit other projects done by the developer to see how the garages feel. In some cases it can feel fine, as other architectural features of the home balance it out. He likes the straight lines and pitches of the rooves in the architecture proposed.

**Alex Leeman** spoke as well, noting that almost all the homes in Fairways have a garage that extends out. He prefers the Fairway look to the Kestrel look. He would like to see the two lots on Main Street be reconfigured so a driveway can be opened on to Main Street. **Petersen** said there is a way to have the home front the interior local road, but the sides facing Main Street can have pleasing architectural features that blend in well. **Leeman** said it is important to have a variety of home types in Farmington. He feels comfortable moving this proposal on.

**Darlene Carter** addressed the Commission. She would like to figure out a way to have the homes on Main Street without having their driveways coming on to Main Street. It could be addressed with landscaping and dressing up the sides of the home that face Main Street. She agreed to look at switching the densities of the homes along Lagoon Drive, as well as intermixing the lot sizes. She wants to preserve enough space in a driveway to park a car. She noted snow storage areas in the proposal, and that the developer had increased road widths from what was originally planned. She wants time to do due diligence to address the stub road to the Wood property.

**Greg Wall** asked if the 14-foot landscaped strip along Lagoon Dr. would be maintained by the HOA. **Carter** said yes. The landscaping fence is proposed to be of high quality and a dark brown.

**Inger Erickson** commented on the large amount of open space in the Fairways projects, and doesn't feel this development has enough. She noted that the developer has dropped the number of lots that they could have done and has been good at listening to Staff.

**Inger Erickson** commented on the narrow streets. **Roger Child** answered that the narrower the road, the safer it is because it forces people to slow down.

**Russ Workman** asked if it's appropriate to have a "pre-vote" about sending this on to the City Council for their input before it is submitted to SPARC and the Planning Commission committee.

**Alex Leeman** likes the idea of both Planning Commissioners and City Councilmembers sitting on the SPARC so it can be determined if there is buy-in from both bodies before it goes to the City Council.

**Darlene Carter** likes the idea of more feedback.

**Greg Wall** said **Doug Wood's** comments of a road stubbing south make sense, as well as adding another lot in order to offset that stub. He would like to blend the lots sizes.

#### **MOTION**

**Alex Leeman** made a motion that the Planning Commission **table** consideration of a recommendation for Preliminary PUD Master Plan/Subdivision Schematic Plan approval to allow time for the following:

1. City Council to hold a public hearing regarding the Preliminary PUD Master Plan/Subdivision Schematic Plan and provide an answer to the following question: "Are the major elements of the subdivision schematic plan (and the Preliminary PUD Master Plan) for The Station consistent with the schematic plan previously approved for East Park Lane "Phase III?" and if so, submit the plans back to the Planning Commission and allow them to complete their recommendation;
2. The City's Site Plan and Architectural Review Committee (SPARC), including three members of the Planning Commission and members of the City Council, must review the landscape plan and building elevations for the project and provide recommendations to the Developer and the Commission. The meeting(s) shall include the developer and/or his representatives.

**Larry Steinhorst** seconded the motion, which was unanimously approved.

#### **ZONE TEXT AMENDMENT APPLICATIONS**

##### **Item #5 Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend the Foothill Development Standards in Chapter 30 of the Zoning Ordinance. (ZT-14-20)**

**Booth** presented this agenda item, with Farmington City as the applicant. A comparative study was done between Centerville and Farmington. She said they would like to study this further and compare it to a few other cities before implementation. There are aesthetic qualities to be further considered before Staff can recommend an amendment to the Foothill Development Standards in Chapter 30 of the Zoning Ordinance.

**Roger Child** opened and closed the Public Hearing at 9:01 PM due to no comments received.

(Email) **Jayson Love** emailed comments that will be included in the record. He has purchased a lot hidden from view, and would like the ordinance not to apply to existing homes, but rather apply to new homes.

**Greg Wall** asked if that would be hard to apply to homes not visible from main arteries.

**Dave Petersen** replied regarding Centerville's ordinance, which is geared towards colors for retaining walls, fences, etc. Bright white is not desirable, where taupe would be better. They may want to look at other cities such as Draper.

#### **MOTION**

**Greg Wall** made a motion to **table** the changes to the Foothill Development Standards set forth in Chapter 30 of the Zoning Ordinance to further Staff research.

Alex Leeman seconded the motion, which was unanimously approved.

**Item #6 Farmington City (Public Hearing) – Applicant is requesting a recommendation to amend the Site Development Standards of the Zoning Ordinance regarding reciprocal access. (ZT-15-20)**

Booth presented this agenda item, which was suggested by City Manager Shane Pace. The request is to recommend an amendment to 11-7-070: J of the Zoning Ordinance requiring reciprocal access, which is a way to establish a legal right to use shared areas between two or more property owners in order to provide necessary ingress and egress. It is something the City doesn't have, while most municipalities do have an ordinance like this on the books. It will provide for a continuous flow of traffic from one parking lot to another across easements.

Inger Erickson questioned the piece of land near the hair salon on Shepard and Main. Meagan Booth said this does not apply to that area, and mentioned the Cook Property as an example between the townhomes and proposed hotel on Farmington Station Parkway. It would apply to only new developments, not existing, to be done at the expense of the applicant. Petersen said they will watch for what to do if a neighboring property owner requests recourse for loss of parking spaces.

Roger Child opened and closed the Public Hearing at 9:13 PM due to no comments.

**MOTION**

Larry Steinhorst made a motion that the Planning Commission recommend the City Council approve the enclosed changes to the Site Development Standards set forth in Chapter 7 of the Zoning Ordinance and as outlined in the attached ordinance.

Rulon Homer seconded the motion, which was unanimously approved.

**Findings for Approval:**

1. Reciprocal Access is a way to establish a legal right to use shared areas between two or more property owners, providing necessary egress and ingress, and is a necessary change in the ordinance.
2. The amendment would support consistency between Farmington zoning ordinance and other local municipalities.

**OTHER BUSINESS**

**Item #7 Miscellaneous, Correspondence, etc.**

- a. Accessory Building Heights – Staff will make this a special exception up to a certain amount (10 or 20 percent deviation) instead of a Conditional Use.
- b. A group wants to develop the bench in South East Farmington and wants to meet with the Planning Commission for input on foothill development, or possibly a planning exercise charrette as commissioners are discouraged from meeting ex parte in small groups.
- c. Greg Wall, Inger Erickson and Larry Steinhorst have volunteered to be on the proposed committee along with SPARC to review subdivisions such as The Station PUD, Park and Main and future townhomes.
- d. Other

**ADJOURNMENT**

**Rulon Homer** made a motion to adjourn at 9:21 PM. **Russ Workman** seconded the motion, which was unanimously approved.

---

**Roger Child**, Planning Commission Chair



Carly Rowe <crowe@farmington.utah.gov>

---

## comments on Park Lane East phase III - zoning & preliminary plat

---

Howard Hess <hhess@xmission.com>

Wed, Sep 2, 2020 at 3:14 PM

To: David Petersen <dpetersen@farmington.utah.gov>, crowe@farmington.utah.gov, mbooth@farmington.utah.gov

David:

I spoke with Meagan on the phone for a few minutes Monday afternoon. She mentioned that you wrote the staff report pertaining to this matter and as such I should address my comments to you. I hope you will consider and discuss with the Planning Commission and WDG/Colin Wright.

Meagan also suggested that Carly would ensure that a copy of my comments would be sent to Planning Commission members.

I'm also going to make another pitch for the idea that WDG and the LDS church undertake a land swap for their adjacent properties to accommodate the LDS Chapel site to be on Main St. A church building on Main St. would be preferred to small residential lots. Additionally, homes more distant from the noise of traffic on Main St. would be more desirable to homeowners.

Thanks for your consideration

Howard Hess

---

 **850 N Main\_notes to Planning Commission.pdf**  
65K

2 September 2020

David Petersen  
Community Development Director  
Farmington City Corp.  
160 S Main  
Farmington, UT 84025

**RE: Schematic Plan & Preliminary PUD Master Plan Approval (850 N. Lagoon Dr) – WDG/CW Home**

Mr. Petersen:

**I submit these comments for your consideration and that of your staff and the Planning Commission.**

Plans and schematics submitted by WDG/CW Home, that will be considered by the Planning Commission during their September 3, 2020 meeting, show several improvements from previous iterations, from my perspective. These changes are significant and are appreciated. Including:

- Single family residences. All multi-family structures are eliminated.
- Improved street locations and alignment.

**ZONING closest to Main St. (SR 106)**

At least one modification/variation, however, represents a serious diminishment from previous plans. All previous schematics included larger lots fronting Main St. (SR 106). This stipulation was important to you and both the Planning Commission and City Council. Phil Holland agreed to this condition and was incorporated in the previous decisions by the Planning Commission and Council.

It is critical to the character and consistency of North Main St. that this remains a corridor consisting of larger homes and lots. Further, it is important that homes on these lots face Main St. and not be permitted to back to Main St. The appearance of Main St is important to the character and heritage of the city. To support this point is the meeting you held with area residents and property owners a couple of years ago to float the notion of a zoning change in this area to something similar to the OTR (Original Town Residential) zone.

Allowing small lots and homes to back to Main St. violates the opportunity and desire to preserve the character and heritage of Farmington. Further, and of equal or greater importance, is the ideal of fairness and equity to uphold the appearance and value of existing homeowners adjacent to this proposed development and along Main St. **I request that lots adjacent to Main St to remain LR (Large Residential).**

conventional subdivisions with minimum 8,000/10,000 sq. ft. lots and publicly maintained streets. Less attractive aesthetically and economically.

WDG has over the past years, included as an example of what they intend and envision this development to be - The Fairways at Oakridge. The Fairways at Oakridge is an attractive and well-maintained development. Gary Wright should be proud of this work. The Fairways at Oakridge continues to be an area of lovely homes and public space and I'm certain the residents are great people and assets to the community. If this proposed development was of the quality of The Fairways at Oakridge, I would be very pleased. As proposed, however, I think it falls well short.

Best regards,

Howard Hess



4

Carly Rowe <crowe@farmington.utah.gov>

---

## Gooch 473 s 950 w (Creekside Manor)

3 messages

---

**Emily Sommer** <emmysommer@icloud.com>  
To: crowe@farmington.utah.gov

Fri, Aug 28, 2020 at 10:51 AM

Hello City Planners,

I live at 918 west 500 s, it's next to the Gooch's new residence. My backyard is their south side yard.

My concerns for the property is focused on water runoff.

As of now the rain from the downspouts has flooded my backyard. So I'm hoping the city has a solution going forward.

Additional concerns:

It appears 75% of their property is covered by cement and house. Is there enough dirt left to absorb the water?

The proposed cement/RV pad is 2ft higher than my yard level. Is there a railing planned? Also, will the cement be tilted away from my yard?

The house is exactly 10 ft from the property line. Is there a buffer zone or can they place cement right to the line? My concern is when we place a fence along our backyard that the cement is on their side.

Thank you,  
Emily Sommer  
Farmington Resident 19 years

I plan on attending the meeting in person.

---

**Carly Rowe** <crowe@farmington.utah.gov>  
To: Emily Sommer <emmysommer@icloud.com>

Fri, Aug 28, 2020 at 12:45 PM

Hi Emily,  
Thank you for your email. I will include this for the Commissioners to review on Thursday's meeting.

Thanks!  
Carly Rowe - Farmington City  
Planning & Zoning, Recording  
and Code Enforcement Secretary  
801-939-9215



[Quoted text hidden]

---

**Carly Rowe** <crowe@farmington.utah.gov>  
To: Meagan Booth <mbooth@farmington.utah.gov>

Fri, Aug 28, 2020 at 12:46 PM

Carly Rowe - Farmington City  
Planning & Zoning, Recording  
and Code Enforcement Secretary



5

Carly Rowe <crowe@farmington.utah.gov>

---

## Farmington Foothill Zoning Revisions

3 messages

---

Jayson Love <jaylove15@gmail.com>

Wed, Sep 2, 2020 at 7:47 AM

To: Carly Rowe <crowe@farmington.utah.gov>

Dear Farmington City Planning Commission Members,

My name is Jayson Love and we have recently sold our Farmington home of 6 years and purchased a lot in the foothill overlay zone to build a new home.

I am writing with concern for the proposed change to the foothill zoning provisions. I am not able to attend the meeting on Thursday but would like to convey some concerns.

It appears that the reason for making the zone change is to match more closely with the Centerville provisions for their hillside overlay zone.

Their code regarding this matter reads as follows: 1. The design of buildings proposed for construction in the Hillside Overlay Zone is encouraged to be visually compatible with the natural beauty of the foothills and canyon areas. The use of building material in colors that will blend harmoniously with the natural setting is suggested. 2. The Planning Commission may review the design and comment on the specified exterior materials and colors for all structures other than single-family dwellings...

The proposed change in Farmington reads much more strict than the Centerville ordinance by stating: "... the colors of main buildings, fences and accessory structures shall blend in harmoniously with the landscape".

We have purchased one of the few remaining lots in the established foothills area north of farmington canyon. We are in the middle of having home construction plans developed. The style of the home being designed does not necessarily lend itself to a color selection that is completely "harmonious with the landscape" though some parts of it likely will be. To my knowledge, none of the previous homes in the area have been held to any such standard.

The lot we are building on is generally hidden from view from main street and I-15. Thus I feel that if the intent of the zone change is to preserve the look of the foothills from viewpoints below, having this apply to less visible lots is unnecessary.

With the background above, I ask that the planning commission consider the following:

1. There are instances where only a few lots remain in well established subdivisions. Requiring this zone change to apply to existing lots in existing developments would not be impactful since none of the surrounding homes were required to meet this standard.
2. Lots that are in the foothills but are more or less hidden from view from the main transportation corridors would not necessarily make an impact if this provision were to be in force for those types of lots.
3. If the purpose for making the change is to more closely align with Centerville's standards, it is suggested that Farmington consider making a revision that is not more strict than Centervilles, but perhaps, equal to it.

I would encourage the planning commission to consider a revised provision that applies this to homes in new developments only and not to existing lots in well established subdivisions. Or possibly even taking the stance of encouraging colors harmonious to the landscape but letting staff evaluate if the specific lot is in obvious view on the foothills. Foothill areas South of Farmington Canyon, particularly nearer the Centerville border are much more visible and perhaps the area the planning commission has in mind when considering this provision. It seems that applying this to areas North of the canyon would have little impact since there is very little land left to be developed.

I appreciate your attention to these concerns.

—  
**Jayson Love**

---

Carly Rowe <crowe@farmington.utah.gov>

Wed, Sep 2, 2020 at 11:30 AM

**FARMINGTON CITY  
PLANNING COMMISSION  
SEPTEMBER 17, 2020  
ELECTRONIC AND IN PERSON MEETING**

---

**STUDY SESSION**

**Present:** Vice Chairman Alex Leeman, Greg Wall, Rulon Homer, Larry Steinhorst, and Mike Plaizier **Staff:** Community Development Director David Petersen, Recording Secretary Carly Rowe, Planning/GIS Specialist Shannon Hansell and Associate City Planner Meagan Booth. **Excused:** Commissioners Russ Workman, Inger Erickson and Commission Chair Roger Child.

**David Petersen** addressed the Commission about the Fiore project, as he came across a past public opinion survey. The same family has owned the property for over 20 years. They know they have the right for commercial use, but what that commercial use is, no one has determined yet. An office space would be a good choice. The citizens were polled on apartments, townhomes, self-storage, and a convenience store. There was no clear winner or loser. The applicant is proposing townhomes, which may require a rezone. The original Covenants, Conditions and Restrictions (CC&Rs)/design standards may have to be amended.

**Alex Leeman** said the history of this project is interesting. It shows things can change over the years. The property owner wondered about a nursery, farmer's market, pharmacy, or day care in the project.

---

**REGULAR SESSION**

**Present:** Vice Chairman Alex Leeman, Greg Wall, Rulon Homer, Larry Steinhorst and Mike Plaizier. **Staff:** Community Development Director David Petersen, Recording Secretary Carly Rowe, Planning/GIS Specialist Shannon Hansell and Associate City Planner Meagan Booth. **Excused:** Commissioners Russ Workman, Inger Erickson and Commission Chair Roger Child.

**Alex Leeman** opened the meeting at 7:05 PM.

**Item #1 Minutes**

**Greg Wall** made a motion to approve the minutes from August 20, 2020. **Rulon Homer** seconded the motion, which was unanimously approved.

**Item #2 City Council Report**

**Dave Petersen** reported on the field trip taken to Sandy and South Jordan that the Council took on September 15, 2020. Using the Davis County 14-passenger bus, they visited two developments in South Jordan (the SoJo Rail Stop and RiverPark); and the Cairns District in Sandy to see how they have developed over time. This was to get an idea of what could happen at North Station in Farmington.

**SUBDIVISION/ZONING AMENDMENTS**

**Item #3 Jacob Ballstaedt/Adam Nash (Public Hearing) – Applicant is requesting a recommendation for Schematic Subdivision Plan and Preliminary PUD Master Plan approval for the proposed Fiore Townhomes Planned Unit Development (PUD) subdivision, consisting of 30 lots on 2.65 acres of property located at the South East corner of 1525 West and Clark Lane and a zone change of the property from AE PUD (Agriculture Estates Planned Unit Development) to BR PUD (Business Residential Planned Unit Development). (S-17-20 and Z-10-20)**

**Dave Petersen** reported in 2000, the City entered into a development agreement with Golden Meadows Properties for the development of the Farmington Greens PUD Subdivision. In that PUD Master Plan and Development Agreement,

the subject property was determined to be “Commercial Support and Services” and further defined under Recital B of the development agreement as: “Developer’s project shall be known as Farmington Greens, a planned unit development (the “Project”), which shall consist of up to but not to exceed 176 lots or dwelling units, plus approximately three acres of commercial property as more particularly shown on the preliminary development plan previously approved by the City Council on October 7, 1998.” Beyond this one sentence, there is no further description on what types of commercial uses are allowed on this commercial property.

About 19.5 years after the City approved the preliminary development plan for the site, the City received an application to develop the property. ... A self-storage/retail facility. ... And the Planning Commission considered the same on February 8, 2018. Thereafter, the City Council did not deny the use, but determined that the proposed setbacks, among other things, which deviated from the standards of the underlying zone, placed the buildings too close to the street at this location. A year (11 months) prior to this, the same developer met with some residents/property owners in the neighborhood to get their input about possible uses for the site.

Timeline—1998 to 2019 (Before the Fiore PUD Application)			
Application/Request	Result	By	Date
Farmington Greens Preliminary Development Plan	○ Approved by City Council	CC	10/7/98
Development Agreement	○ City Council		Date on agreement: 7/19/2000
Neighborhood Mtg	○ City emails show that a neighborhood meeting may have been held by a representative of the owner to discuss development alternatives for the property including apartments (in two buildings) or a convenience/fuel sales store (i.e. a Maverick)		April, 2017
Farmington Greens PUD Master Plan Amendment Application—Self Storage	○ Recommendation by Planning Commission ○ Tabled by City Council ○ City denied request to amend Farmington Greens PUD set back and other standards related to the 2.65-acre site [note: The Council did not deny the proposed land use].	PC CC CC CC	2/8/18 3/6/18 3/5/19 3/19/19
Application—Self-Storage Units	○ Applicant begins preparing a revised application for self-storage units, but never submitted it to the City.		Late Spring/Early Summer 2019

The Farmington Greens development was 98 acres and designed with views of the Bountiful Temple in mind. They came under Chapter 27 (the PUD chapter), which has a brief mention of commercial in the preamble. Therefore, it was determined years ago that the Agricultural Estates (AE) Zone would allow some commercial uses. There was no movement for 17 years when **Adam Nash**, representing the property owner, held a neighborhood meeting and discussed options such as two apartment buildings, strip commercial, self-storage, 78 condominium units in three stories, and a Maverick gas station. Input from the residents wasn’t very clear, but condominiums were the most well received at the time.

Since that time as the surrounding subdivision has been built out, several residents have come asking the City what the plans are for the vacant lot there, not wanting a gas station or strip mall. Staff would reply that they didn't know what was going to happen there. **Petersen** said in 1997 and 1998, the lay of the land didn't include good freeway access to Farmington's west side. **Leeman** said the idea was that there would be some light neighborhood commercial in that area to support the surrounding homes. However, that was before Station Park came.

Now the same developer is proposing 30 townhomes for the site and is requesting that the City rezone the property from Agricultural Estates (AE) PUD to Business Residential (BR) PUD. . The property owner is willing to abandon all previous vested rights if townhomes can be built along with rezoning that would allow commercial use on three acres. The maximum units allowed per acre in the BR Zone is 15. They are requesting 11.3 units per acre on their application. **Petersen** said the setbacks aren't as much of an issue with this proposal because it would have individual townhomes fronting the street rather than a long continuous wall as proposed a couple of years ago.

Applicant **Adam Nash** (6076 S. 900 E., suite 151, Salt Lake City, Utah, 84121) addressed the Commission. He represented the property owners in the past and now is a partial property owner as well. He said they have struggled to determine what would make economic sense to develop in that area. He said about half of those who attended the neighborhood meeting accepted residential development. Some were great with the Maverick, but not those who would live right next to it. They did not like the apartments as much because of the size of the buildings. Some were fine with storage while others wanted the City to buy it and make it a park. However, there was not a clear direction. Now, the property owner would like to team up with Garbett Homes for the owner-occupied, separately deeded units. He said design standards would be specific for the different options proposed in years past. He said these units are affordable, although they do not meet the FHA local standard of \$189,000. Compared to other housing in the area, these are a lot more affordable.

**Alex Leeman** opened the Public Hearing at 7:33 PM.

**David Rathbun** (81 Churchill Downs Drive, Farmington, Utah) said he lives in the nearby Farmington Greens. He would not like to see commercial uses there. He asked about a multifamily zone. He prefers two-story townhomes over three-stories. He asked if it would be part of the Farmington Greens Homeowner's Association (HOA), as their park area and playground are about a block away from the property. He is concerned about parking, as it is already an issue with nearby townhomes where residents park on the street despite having garages and a back alley.

**Ashley Hardt** (79 Filly Drive, Farmington, Utah) said she is also concerned about parking for the proposed townhomes, saying that there are only eight planned guest parking spaces allocated for 30 residences. She previously lived south of the church in Farmington Crossing, where parking was an issue.

**Alex Leeman** closed the Public Hearing at 7:39 PM.

**Mike Plaizier** noted a possible conflict of interest, as he has direct business dealings with **Adam Nash**, the applicant.

**Alex Leeman** asked **Dave Petersen** to speak on some of the zoning issues. **Petersen** said it is master planned for commercial and there is an existing agreement for commercial. That is why the BR zone is appropriate, as it is both business and residential. The residential densities are similar to the R-8 Zone, which the Planning Commission could consider using. If it is zoned R-8, office is the only primary allowed commercial in that zone. People would prefer an office building compared to commercial strip mall in that area.

**Adam Nash** said he commits to two stories, as there is ground water issues and height restrictions. He has no problems having the property zoned R-8 vs. BR. He said he would have to talk with his partners about if it will be part of the Farmington Greens HOA. He said they can control the narrow interior private streets, but not the public streets. It would be up to the City to post no parking on the public streets.

**Alex Leeman** suggests that the change to R-8 be made, if the applicant is fine with it. He said it locks in the City's vision for the area. He said the applicant may want to consider putting in a tot lot or park use in order to not overwhelm Farmington Green's park. He said the applicant meets the parking standards with their proposal because of the two-car garages with every unit and eight visitor spots.

**Jacob Ballstaedt** (273 N. East Capitol Street, Salt Lake City, Utah, 84103) with Garbett Homes addressed the Commission. They also built Farmington Crossing, 2006-2015, through the recession. That project is a majority of rear-load garages, which doesn't have a lot of room for guest parking. However, this project is different as it is front-load with two-car garages with driveways. It is a new design for the company, with modern elements like shed roofs and a transitional architectural style. The townhomes are 28 feet wide, which is wider than the typical 25 feet that only allows a garage and entry. They have covered patios in the back to look more appealing. The back yards usually are not fenced, as the HOA maintains the yards. The company embraces energy efficiency, and designs their homes to use half as much energy as the traditional home due to insulation and thicker walls, tankless water heaters, high efficiency windows, etc.

**Greg Wall** asked if there are sidewalks on both sides of the roads. **Ballstaedt** said yes, attached to the curb and gutter. On the west end of the east-west road, **Wall** wondered if there would be a berm to separate it from 1525 West. **Ballstaedt** said there would be a perimeter fence there by 1525 West and Clark Lane. He asked the depth of the covered patio, which was about 5 feet. He would also propose a 6 foot vinyl fence. **Wall** is concerned with the depth of the driveways: on the north-south road they are 20 feet, but on the north side of the east-west roads, they are proposed at 19 feet. He is from Wyoming, where Garbett did another project. A lot of people there owned trucks, which when parked, hung out over the sidewalk. He asked if that was a concern for this project. **Ballstaedt** said the City minimum is typically 18 feet. **Wall** does not like the corrugated steel, as it feels industrial. He said the open quad could be a good place to put a playground.

**Leeman** said he likes the proposed options and they would fit the neighborhood well. This is the best thing the City has seen for this spot. He proposes to recommend it with an R-8 zone, which would go to the City for rezone, PUD and schematic approval. After that, it would be in front of the Planning Commission. Part of the Planning Commission's recommendation could be not to approve the final enabling ordinance (that would create the R-8 zone) does not take effect until final PUD is approved, which would help the Commission to have continued input on the design elements.

**Wall** asked about the difference between the BR and R-8 zones. **Petersen** said the BR allows for various kinds of businesses, but the R-8 only allows for office uses. **Leeman** said in the past, the public had been wary of a lot of the commercial uses in the BR zone. The residential and office uses entitled by the R-8 zone is more palatable to the neighborhood even though it is commercial now.

**Rulon Homer** said he has seen a lot of proposals for this property over the years, and this is his favorite so far. He asked if the zoning did not allow them to put any more houses on the property, could they rezone to get more homes. **Leeman** said the entitlement under the development agreement limits their roof tops on the 98 acres. **Wall** said it has been maxed, because the rest of the land is wetlands.

**Leeman** said these units could be considered medium-income units that will be accessible to many people, although it does not meet the federal definition of affordable housing. Although parking will likely be a problem, there isn't much the City can do about it as the proposal meets minimum standards. Theoretically, each unit has the ability to park four vehicles off the road. **Wall** would like to make a condition of approval to provide more visitor parking stalls.

After working with snowplowing and HOAs at Farmington Crossing and the Avenues (at 1100 West and Clark Lane), **Petersen** said Staff has found that those developments that have a driveway in front of their garage do not have the parking problems that those without driveways have. Those two extra spaces make all the difference. He doubts this project will have much of a parking problem.

**Leeman** asked the developer to consider how to screen the units without it becoming an eyesore or a site-line issue. He would not like large walls of vinyl fences. He would like to address this issue in the future.

**Shannon Hansell** addressed the Commission with five findings, A-E, based on 11-27-070. The first is the layout. Due to the residential nature of the surrounding area, the design of the townhomes, landscaping and screening should be more integrated and cohesive with the surroundings than other possible commercial uses like convenience stores, storage units and small professional office sites, which are also allowed on this site. Further architectural review could be considered by the Site Plan and Architectural Review Committee (SPARC) with Planning Commissioners and City Councilmembers in attendance.

The detriment to the surrounding residential area would be less intense because of a less intense commercial use in the form of residential townhomes. The reason this was originally designated commercial in the Development Agreement was to provide more convenient business uses to surrounding sprouting subdivisions at that time. However, there is no longer a need for such commercial uses because of Station Park. It is beneficial for businesses to cluster near each other.

She spoke of traffic hazards. The addition of two proposed access points on Clark Lane and 1525 West is far more beneficial to the area than a single family dwelling with a potential of multiple access points on those busy roads where there might be children and pedestrians walking. On the other hand, if this was to become commercial, pedestrians would have to compete with business ingress and egress. That would increase daily traffic more than the proposed townhomes would. The four-way intersection of 1525 West and Clark Lane may need a traffic light or increased light pollution to handle traffic from commercial uses. With townhomes, the daily traffic patterns would be similar to what that area already experiences.

The for-sale townhomes allow individuals to build equity, and the HOA will ensure the property is maintained. The City and residents have more opportunity for input on this proposal through the PUD process. Townhomes are the most favorable usage according to public input so far, compared to high apartment buildings.

The developer and this development are deviating from the underlying zone requirements such as setbacks.

**Wall** wants to add as conditions to the motion things the applicant verbally agreed to such as: the townhomes will be a two-story product, and it will be part of the Farmington Greens HOA.

He would like to recommend the addition of a playground later in the process. It is wise to make the enabling ordinance at final PUD so the R-8 Zone doesn't become effective until conditions are met. He would like to see driveways longer than 19 feet. **Leeman** would like to see an option for additional parking in the next phase.

### ***MOTION***

**Greg Wall** made a motion that the Planning Commission recommend that the City Council approve the Preliminary PUD Master Plan and Subdivision Schematic Plan for the Fiore Townhomes Planned Unit Development (PUD), and rezone the property from AE (PUD) to ~~BR (PUD)~~ to R-8 (PUD), subject to set backs which result from the building placement as depicted on the proposed master plan, with findings A and B.

#### Findings for Approval:

- a. Townhomes present an acceptable non-commercial use for the location because the 1998 development plan, which identified commercial uses on this corner, did not envision a major commercial complex just a few blocks east of the site. Now the possibility of a thriving business on the 2.65-acre property is more remote due to the market attraction of Station Park.
- b. The townhomes will be "for sale" dwellings, which may result in a good niche/match for the local housing market.

In addition, the attached findings based on 11-27-070 A-E, with the following additional conditions:

Conditions:

- a. That the enabling ordinance does not take effect on the R-8 PUD Zone until final PUD.
- b. The townhome products be two-stories.
- c. The townhomes in this project are part of the Farmington Greens HOA.

**Rulon Homer** seconded the motion, which was unanimously approved.

**Item #4 Miscellaneous, correspondence, etc.**

Wall reported on the recent SPARC (Site Plan and Architectural Review Committee) meeting. The Station PUD proposes some changes to what was presented before, including a name change to The Rose. Historically, Farmington had been called the City of Roses because of the many rosebushes in the area. A home north of the Zion's Bank built in 1883, the sixth oldest home in Farmington, was owned by the Rose family. **Wall** said the developer also decided to blend lot sizes. They have the same lot count, but the lot sizes are interspersed. The two City Councilmembers at the meeting were **Amy Shumway** and **Scott Isaacson**, who encouraged them to incorporate Farmington Rock into the project. They asked that the deep set-back homes be brought forward, or have covered awnings to make the front door more prominent and appealing. **Petersen** suggested on corner lots that the garages be turned to be side facing. It was suggested to move the pickleball court closer to the wetlands.

**ADJOURNMENT**

**Rulon Homer** made a motion to adjourn at 8:32 PM. **Wall** seconded the motion, which was unanimously approved.

---

**Alex Leeman**, Planning Commission Vice-Chair

**WORK SESSION:** A work session will be held at 5:00 p.m. in Community Room, First Floor, of the Farmington City Hall, 160 South Main Street. The public is welcome to attend. The agenda for the work session will be as follows:

1. Business Park Discussion
2. Questions or concerns the City Council may have on agenda items.

## **FARMINGTON CITY COUNCIL MEETING NOTICE AND AGENDA**

Notice is hereby given that the City Council of **Farmington City** will hold a regular City Council meeting on **Tuesday, October 6, 2020, at 7:00 p.m.** The meeting will be held at the Farmington City Hall, 160 South Main Street, Farmington, Utah.

*In consideration of the COVID-19 pandemic, attendance will be monitored and will be limited to less than 50 individuals, including Council, staff and applicants.*

*Masks are recommended, and all of those in attendance will be required to participate in a socially distant manner.*

The agenda for the meeting shall be as follows:

### **CALL TO ORDER:**

7:00 Roll Call (Opening Comments/Invocation) Pledge of Allegiance

### **PRESENTATIONS:**

7:05 Approval of New Trails Committee Member

7:10 Introduction of New Police Officer and Administration of Oath of Office

7:20 Purchase of 0.3 acres at approximately 950 N - Jared Scott

### **PUBLIC HEARINGS:**

7:30 Preliminary PUD Master Plan and Subdivision Schematic Plan for The Station located at 850 N Lagoon Drive

7:45 Ordinance Amending Chapter 32 of the Zoning Ordinance Pertaining to Driveway Width Special Exception

8:00 Ordinance Enacting 11-7-070 (J6) of the Zoning Ordinance regarding Reciprocal Access between Commercial Uses

8:15 Preliminary PUD Master Plan, Subdivision Schematic Plan, and Zone Change – Fiore Townhomes (S-12-20 and Z-10-20).

**NEW BUSINESS:**

8:30 Human Resource Manager Position

**SUMMARY ACTION:**

*(Items listed are considered routine in nature and will be voted on in mass unless pulled for separate discussion)*

8:40 Minute Motion Approving Summary Action List

1. Approval of Minutes from August 4, 2020
2. Approval of Minutes from September 15, 2020
3. Improvement Agreement for Visionary Homes
4. Ambulance Write-offs
5. Resolution Amending the Consolidated Fee Schedule regarding Professional Service/Engineering Fees

**GOVERNING BODY REPORTS:**

8:50 City Manager Report

1. Building Activity Report for August
2. Car Wash

9:00 Mayor Talbot & City Council

**ADJOURN**

**\*PLEASE NOTE:** Times listed for each agenda item are estimates only and should not be construed to be binding on the City Council.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations due to a disability, please contact Holly Gadd, City Recorder at 801-939-9205, at least 24 hours in advance of the meeting.

*I hereby certify that I posted a copy of the foregoing Notice and Agenda and emailed copies to media representatives on October 1, 2020.*

**FARMINGTON CITY CORPORATION**

By:   
Heidi Bouck, Deputy City Recorder



## Planning Commission Staff Report October 8, 2020

---

### Item 3: Park and Main Preliminary PUD Master Plan and Schematic Plan

Public Hearing:	Yes
Application No.:	S-6-20
Property Address:	Approximately 744 N Main St
General Plan Designation:	LDR
Zoning Designation:	BP and LR-F
Area:	3.32 Acres
Number of Lots:	6 residential; 1 office/commercial
Property Owner:	MJC Holdings LLC
Agent:	Phil Holland

*Applicant is requesting recommendation for schematic plan approval and preliminary planned unit development (PUD) Master Plan for the Park and Main subdivision*

---

#### **Background Information**

This property, zoned Business Park – Foothill (BP-F) and Large Residential - Foothill (LR-F), contains 3.32 acres of land. The BP-F zone (12% of the project) is limited to the extreme southern tip of the site. The property is located at the bottom of a steep slope adjacent to Compton Bench Road, making this slope section of the parcel undevelopable. The current concept plan shows five residential lots at roughly 6,534 sf, the remainder residential lot (Lot 1) is 30,927 sf, most of which is too steep for development, save two flatter areas. The applicant is considering the possibility of adding one more single-family dwelling here. The PUD overlay for this area was recommended for approval by the Planning Commission on August 6, 2020

The approximate 1/3-acre existing office area is quite small, fitting only a petite office building. At the projects previous Planning Commission meeting on August 6, 2020, the commission suggested they would like a rework of the office building elevations, downsizing the parking lot, and a home behind a home scenario on Lot 1; Moreover, the commission tabled action to allow time for the City Council to hold a public hearing and to receive their input and provide time for a review by the City's SPARC (Site Plan and Architectural Review Committee)

#### **Suggested Motion**

Move that the Planning Commission recommend approval for the Preliminary PUD Master Plan and approve the Schematic Plan for the Park and Main (PUD) subject to all applicable Farmington City ordinances and development standards, and the following conditions:

1. UDOT approval will be needed during future stages of development.
2. A shared parking arrangement must be created between residential and office tenants.
3. A mitigation plan for the hillside springs must be approved by the DRC.
4. Stormwater mitigation plan tailored to low impact development standards must be submitted.
5. The Preliminary PUD Master Plan must be updated to include all requirements from 11-27-060.
6. All remaining DRC comments must be addressed.
7. The residential area be rezoned as OTR following approval and recordation of the final plat.
8. The office building is still subject to site plan requirements as per the Zoning Ordinance.

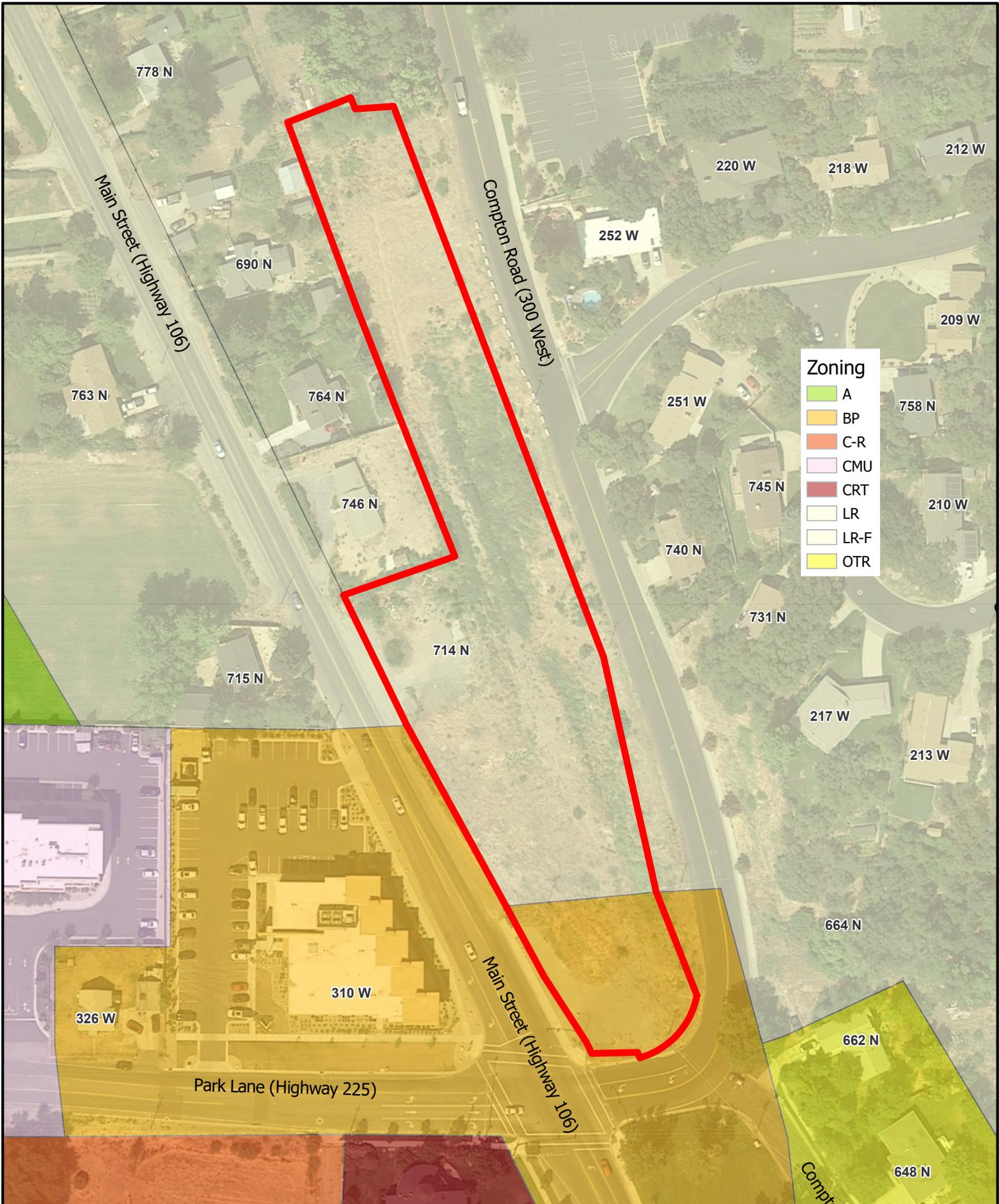
#### Findings for Approval:

1. With adherence to DRC comment and UDOT approval, it is reasonable to assume that hazards will not be unreasonably increased in developing this area.
2. With adherence to DRC comment, the land in this PUD would be used more efficiently than that of the underlying zone.
3. In consideration of adjacent property, the development has chosen to create single-family dwellings fitting local character.
4. This project agrees with Farmington City's General Land Use Plan.
5. As compensation for increased density, this development ensures that the slope will be protected. Whereas in a traditional subdivision, there would be no assurance that the slope be sufficiently protected and stabilized.
6. Additional compensation for increased density (a singular additional lot) is provided by:
  - a. The mitigation of the natural hillside springs
  - b. Access point limited to just one, instead of four potential access points off Main Street
  - c. Approved design guidelines
  - d. All improvements will be completed at one time, reducing inconvenience and aesthetic inconsistency on Main Street
  - e. Visitor parking for residents via shared parking agreement [note: the parking lot for the office use consists of ~75 stalls and exceeds the three stalls per 1,000 sf city standard for the proposed ~14,700 sf office building.
7. The residential area use on the north side of the site will help prevent residential creep northward on Main Street.
8. The developer has met with, and applied solutions, from the joint PC-CC-SPARC committee concerning architecture.

#### Supplementary Information

1. Vicinity Map
2. Zoning Map
3. Preliminary PUD Master Plan/Schematic Plan including residential and office building elevations reviewed by the Planning Commission on August 6, 2020.
4. Preliminary PUD Master Plan/Schematic Plan incorporating changes from the developer to meet comments received from the Planning Commission, City Council and SPARC



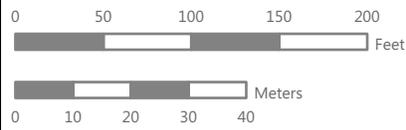


**Zoning**

Green	A
Orange	BP
Red	C-R
Purple	CMU
Dark Red	CRT
Light Green	LR
Yellow	LR-F
Yellow-Green	OTR



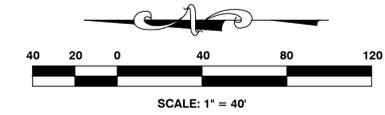
**VICINITY MAP**  
Park and Main Zoning



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

# PARK AND MAIN SUBDIVISION

## CONCEPT PLAN

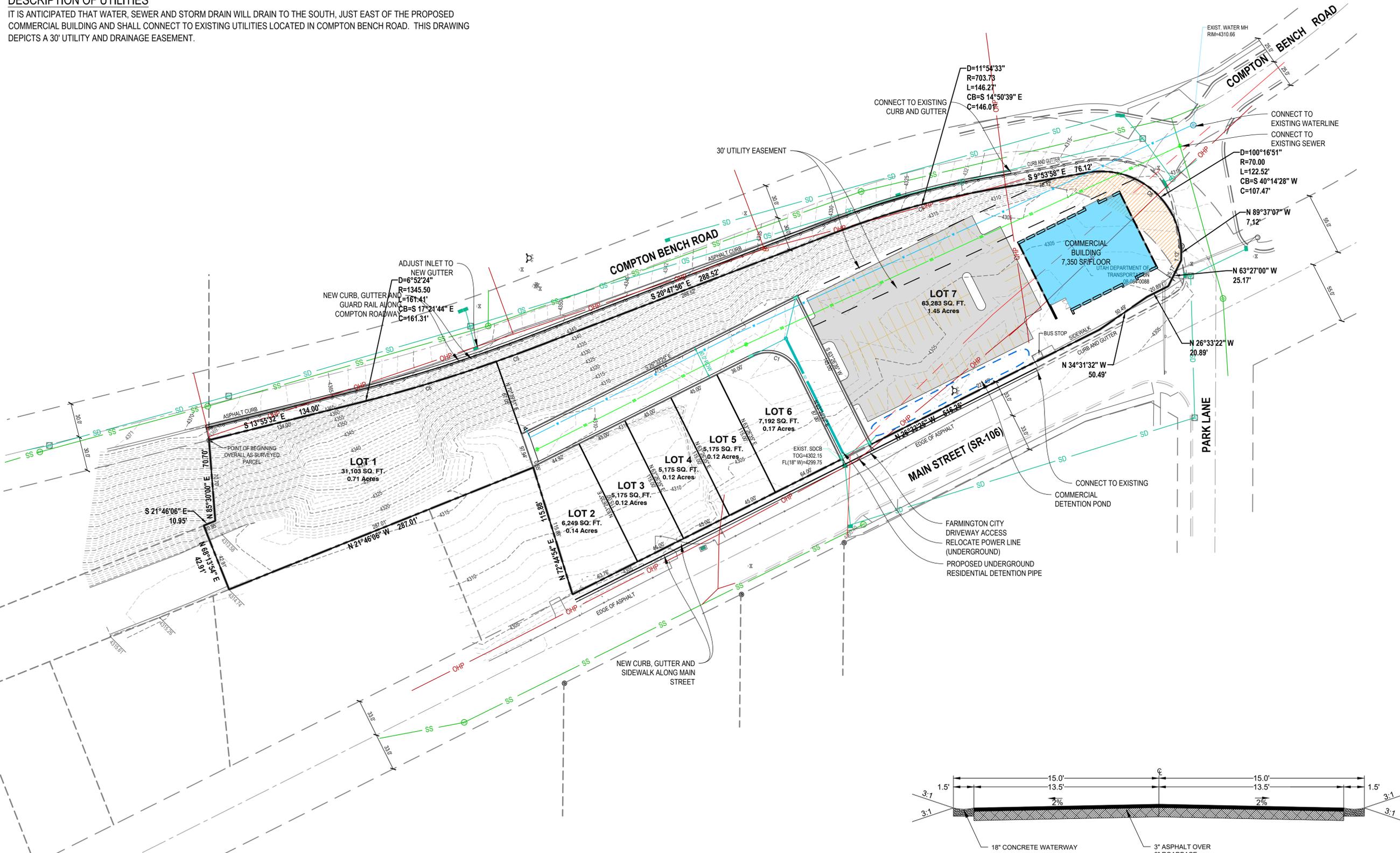


### PRUD LAND USE TABLE

OVERALL AREA	3.1 ACRES
NUMBER OF LOTS	6 RESIDENTIAL/1 COMMERCIAL
AREA OF COMMERCIAL BUILDING	7,350 SF (0.8 ACRES)
AREA OF ROAD EASEMENT	0.3 ACRES
AREA OF OPEN SPACE	0.8 ACRES (26%)

### DESCRIPTION OF UTILITIES

IT IS ANTICIPATED THAT WATER, SEWER AND STORM DRAIN WILL DRAIN TO THE SOUTH, JUST EAST OF THE PROPOSED COMMERCIAL BUILDING AND SHALL CONNECT TO EXISTING UTILITIES LOCATED IN COMPTON BENCH ROAD. THIS DRAWING DEPICTS A 30' UTILITY AND DRAINAGE EASEMENT.



NO.	DATE	REVISION

DRAWING IS NOT TO SCALE IF BAR DOES NOT MEASURE 1 INCH

## PARK AND MAIN SUBDIVISION

### CONCEPT PLAN

FARMINGTON CITY, DAVIS COUNTY, UTAH

Scott R. McFarland, PE  
 Project Engineer  
 347 East 1000 South  
 Layton, Utah 84043  
 801.226.6797 (O)  
 smc@meaeng.com



DESIGN: SPM  
 DRAWN: SPM  
 CHECKED: SRM  
 DATE: 6-28-20

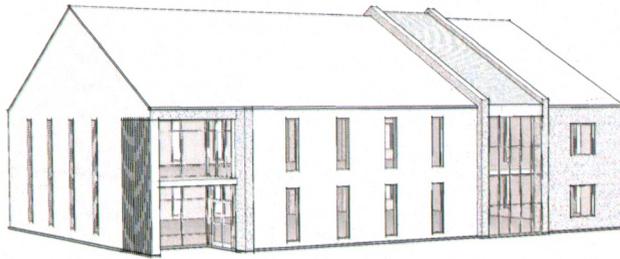
SHEET:  
C1

C:\Users\ScottR\Documents\Farmington Res and Comm\05-Cadd\05-Bases\Bases Farmington 2020.dwg Jun 26, 2020 - 1:38pm





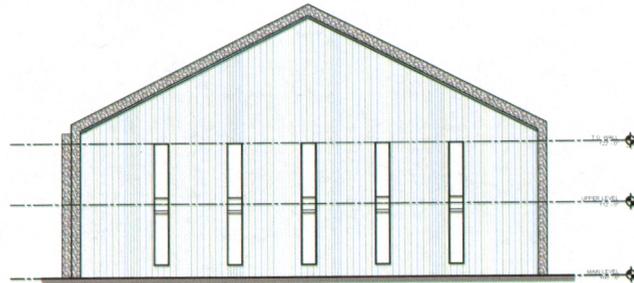




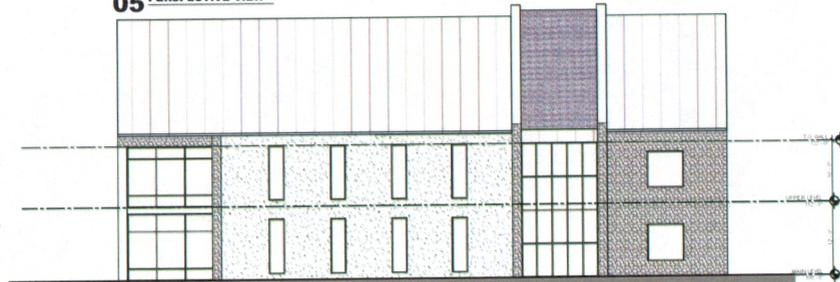
**06 PERSPECTIVE VIEW**



**05 PERSPECTIVE VIEW**



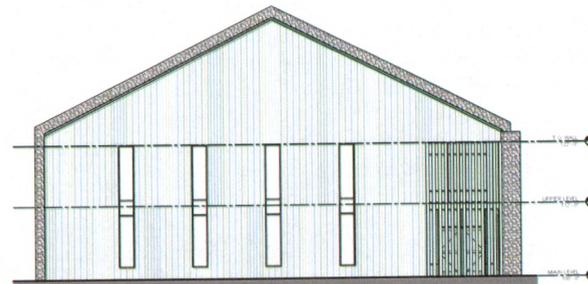
**04 SOUTH ELEVATION**  
1/8" = 1'-0"



**03 WEST ELEVATION OPTION 4**  
1/8" = 1'-0"



**02 EAST ELEVATION OPTION 4**  
1/8" = 1'-0"



**01 NORTH ELEVATION**  
1/8" = 1'-0"



ARCHITECT  
200 S. 1000  
1500 SOUTH 1000 WEST  
STRAUCH UT 84025

COMPTON ROAD  
OFFICE BUILDING CONCEPT  
XXX  
FARMINGTON, UT 84025

STAMP

REVISION	NO.	DESCRIPTION	DATE

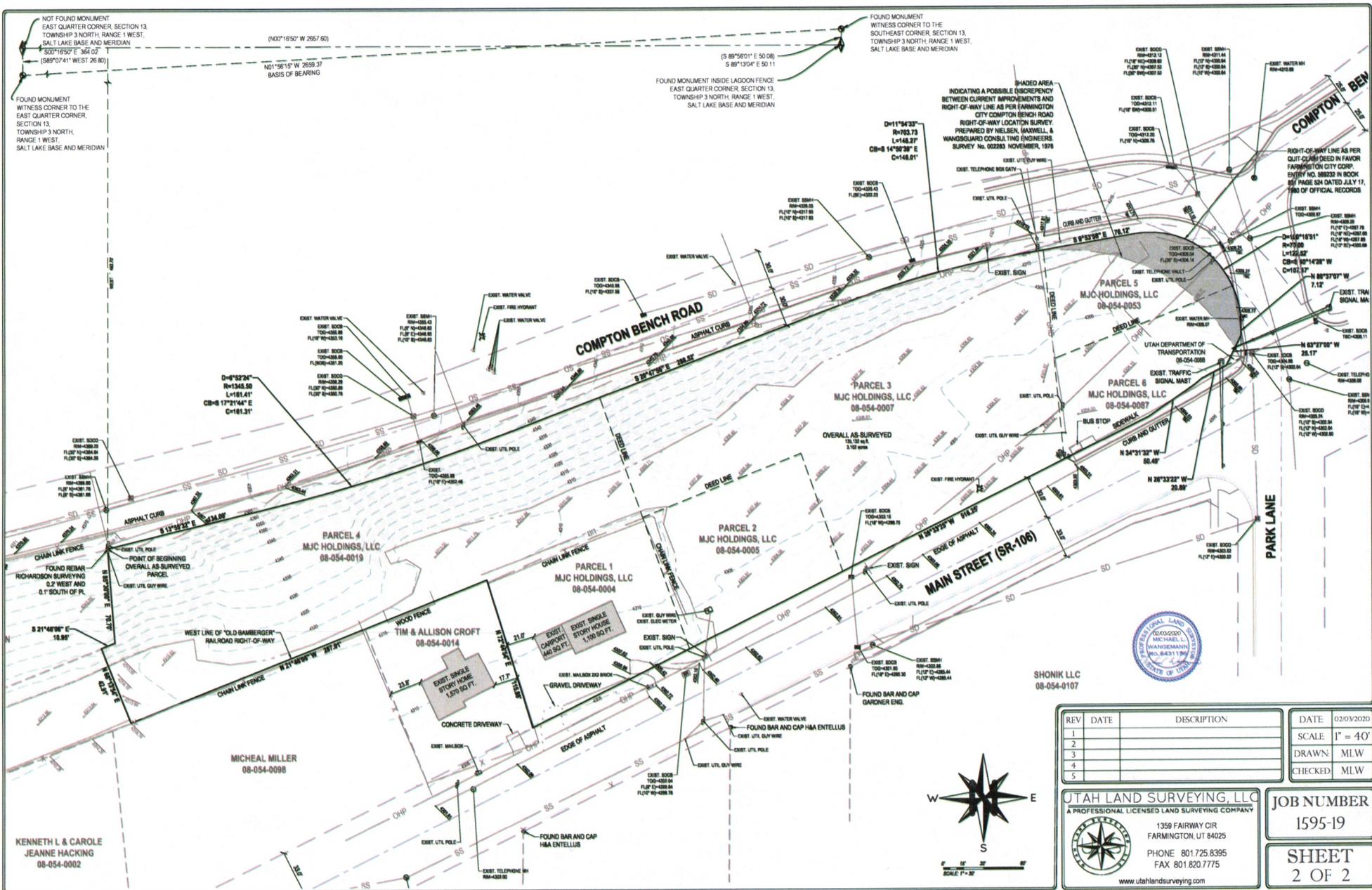
DATE  
04/22/20  
SCALE

SHEET TITLE  
ELEVATION  
CONCEPT  
OPTION 04

SHEET NO.

**A4**





NOT FOUND MONUMENT  
EAST QUARTER CORNER, SECTION 13,  
TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
(50°16'50" E 364.02'  
(58°07'41" WEST 26.80')

(N00°16'50" W 267.60')  
N01°26'15" W 269.37'  
BASIS OF BEARING

FOUND MONUMENT  
WITNESS CORNER TO THE  
EAST QUARTER CORNER, SECTION 13,  
TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
(S 89°56'01" E 50.08')  
(S 89°13'04" E 50.11')

FOUND MONUMENT  
WITNESS CORNER TO THE  
SOUTHEAST CORNER, SECTION 13,  
TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN

SHADE AREA  
INDICATING A POSSIBLE DISCREPANCY  
BETWEEN CURRENT APPROXIMATEMENTS AND  
RIGHT-OF-WAY LINE AS PER FARMINGTON  
CITY COMPTON BENCH ROAD  
RIGHT-OF-WAY LOCATION SURVEY,  
PREPARED BY NELSON, HANVELL, &  
WANGUARD CONSULTING ENGINEERS,  
SURVEY NO. 002283 NOVEMBER, 1978

RIGHT-OF-WAY LINE AS PER  
QUIT-CLAIM DEED IN FAVOR  
FARMINGTON CITY CORP.  
ENTRY NO. 88623 IN BOOK  
85 PAGE 224 DATED JULY 17,  
1980 OF OFFICIAL RECORDS

PARCEL 5  
MJC HOLDINGS, LLC  
08-054-0053

PARCEL 3  
MJC HOLDINGS, LLC  
08-054-0007

PARCEL 6  
MJC HOLDINGS, LLC  
08-054-0087

PARCEL 2  
MJC HOLDINGS, LLC  
08-054-0005

PARCEL 4  
MJC HOLDINGS, LLC  
08-054-0019

PARCEL 1  
MJC HOLDINGS, LLC  
08-054-0004

TIM & ALLISON CROFT  
08-054-0014

MICHEAL MILLER  
08-054-0098

KENNETH L. & CAROLE  
JEANNE HACKING  
08-054-0002



SHONIK LLC  
08-054-0107



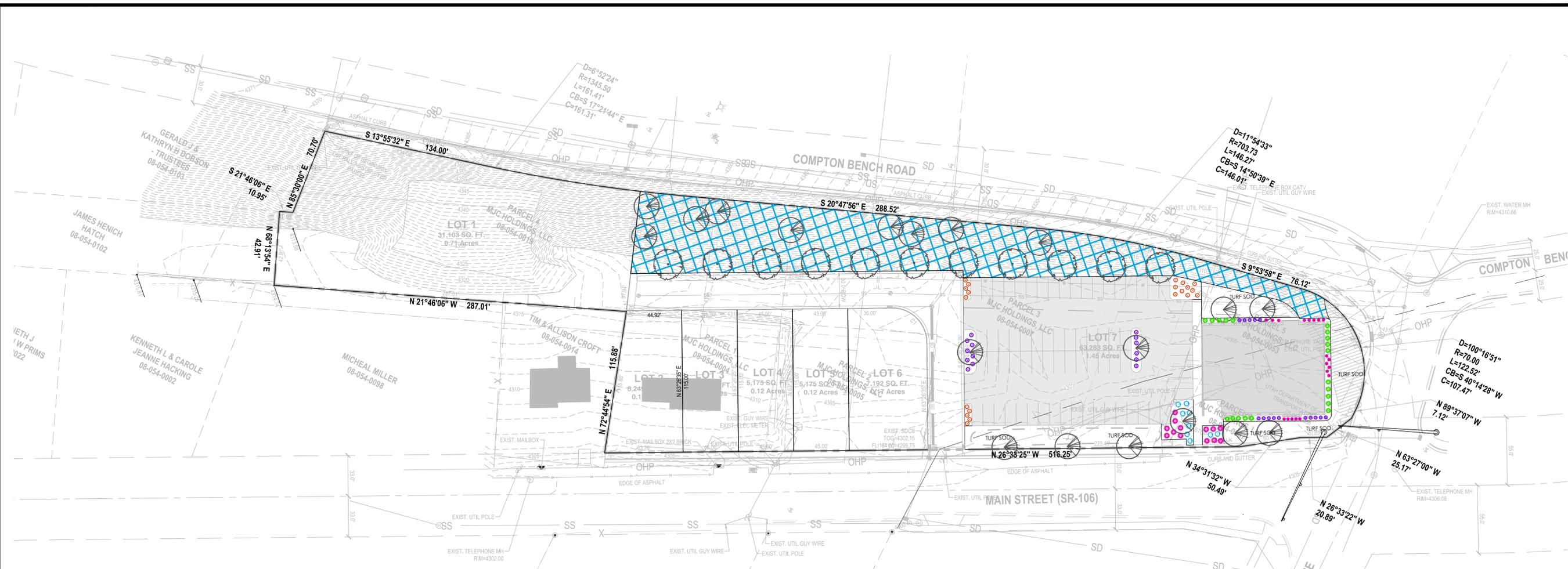
REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE	02/03/2020
SCALE	1" = 40'
DRAWN	MLW
CHECKED	MLW

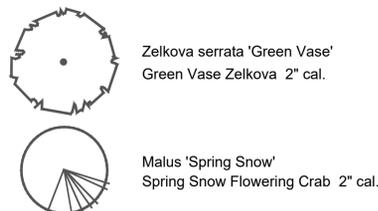
**JT&H LAND SURVEYING, LLC**  
A PROFESSIONAL LICENSED LAND SURVEYING COMPANY

1359 FAIRWAY CIR  
FARMINGTON, UT 84025  
PHONE 801.725.8395  
FAX 801.820.7775  
www.utahlandsurveying.com

<b>JOB NUMBER</b>	1595-19
<b>SHEET</b>	2 OF 2



**TREE LEGEND**



**PROPOSED PLANTING PALETTE**

Symbol	Scientific Name	Common Name	Size	Quantity	Waterwise
<b>SHRUBS</b>					
CCB	Coryopteris clandonensis 'Blue Mist'	Blue Mist Bluebeard	2 Gal	XX	Yes
PON	Physocarpus opulifolius 'Nugget'	Nugget Ninebark	5 Gal	XX	Yes
SBA	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	2 Gal	XX	No
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>					
CAK	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 Gal	XX	Yes
PAH	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 Gal	XX	Yes
PAL	Perovshia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 Gal	XX	Yes
SNE	Salvia nemorosa 'East Friesland'	East Friesland Salvia	1 Gal	XX	Yes

**LANDSCAPE NOTES**

1. LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
2. ALL PLANTING BEDS WILL HAVE 3" DARK BROWN LONG STRAND SHREDDED BARK MULCH.
3. INSTALL PLASTIC EDGING FOR MOW STRIPS BETWEEN LAWN AREAS AND PLANTING BEDS.

**GRASS LEGEND**

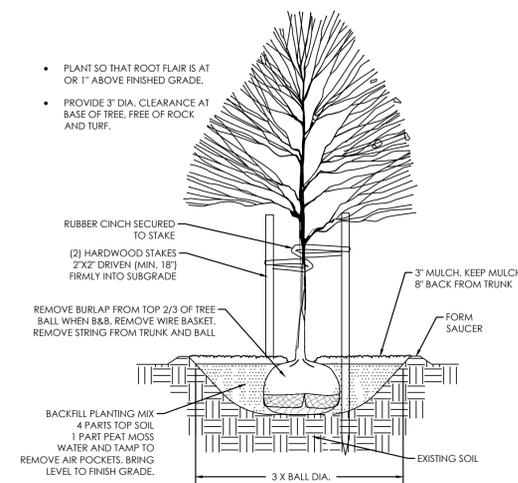


**MEADOW GRASS SEED MIX**

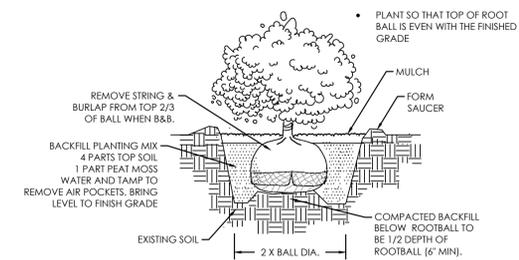
NAME	SCIENTIFIC NAME	PLS %
HARD FESCUE	FESTUCA BREVIPIILA	40%
CHEWING FESCUE	FESTUCA RUBRA COMMUTATA	30%
RED FESCUE	FESTUCA RUBRA	30%
TOTAL		100%

APPLY 6 INCHES OF NATIVE TOP SOIL FROM THE LOCAL AREA. NO SUBSURFACE SOIL SHALL BE USED. IT IS IMPORTANT TO USE SOIL THAT HAS MINIMAL AMOUNT OF WEED SEED. APPLY SEED MIX AT A RATE OF 20 POUNDS PER ACRE. APPLY SEED MIX BY HYDRO-SEEDING. (SEED MIX PROVIDED BY GRANITE SEED, LEHI, UTAH)

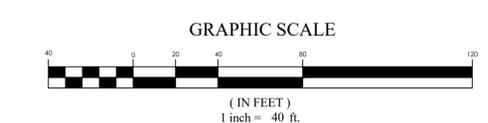
**MEADOW GRASS CARE:**  
 MOW REGULARLY SO THAT NOT MORE THAN 1/3 OF THE LEAF IS REMOVED EACH TIME. MOST GRASSES, ESPECIALLY BLUEGRASS AND FESCUES SHOULD BE MOWED AT A HEIGHT OF 2.5 TO 3 INCHES TO PROVIDE FOR HEALTHY ROOT GROWTH AND TO HELP COMPETE WITH WEEDS. PROVIDE ADEQUATE WATER, BUT AVOID OVERWATERING. FERTILIZE 2 TO 3 TIMES PER YEAR, ONCE IN EARLY SPRING, ONCE IN LATE SPRING AND ONCE IN FALL. AERATE ONCE A YEAR, ESPECIALLY IN COMPACTED SOILS. DETHATCHING IS NOT NECESSARY.



**A TREE PLANTING & STAKING**  
 NOT TO SCALE



**C SHRUB PLANTING**  
 NOT TO SCALE



**REVISION BLOCK**

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

**PRELIMINARY LANDSCAPE PLAN**

Scale: 1"=40' Drawn: SAV  
 Date: 07/23/2020 Job #: 20-0342  
 Sheet:



Z:\\_2020\20-0342 Park & Main - Farmington.dwg 20-0342.dwg User:SL1 - LANDSCAPE PLAN.dwg

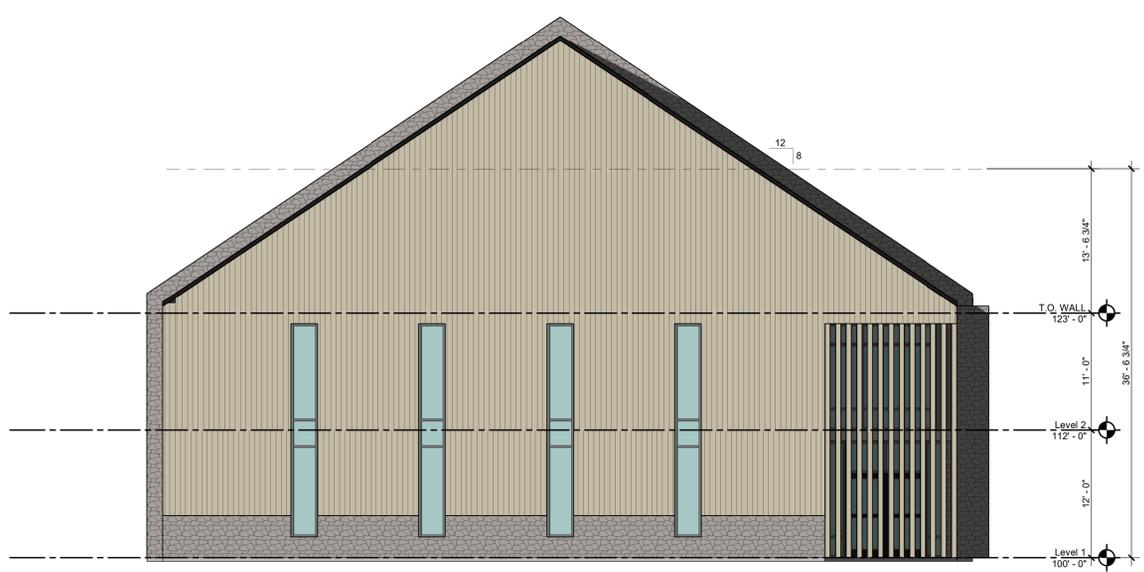
**STAMP**

REVISION NO.	DESCRIPTION	DATE

DATE  
**09/30/20**  
 ISSUE

SHEET TITLE  
**OPTION 01  
 ELEVATIONS**

SHEET NO.  
**A1**



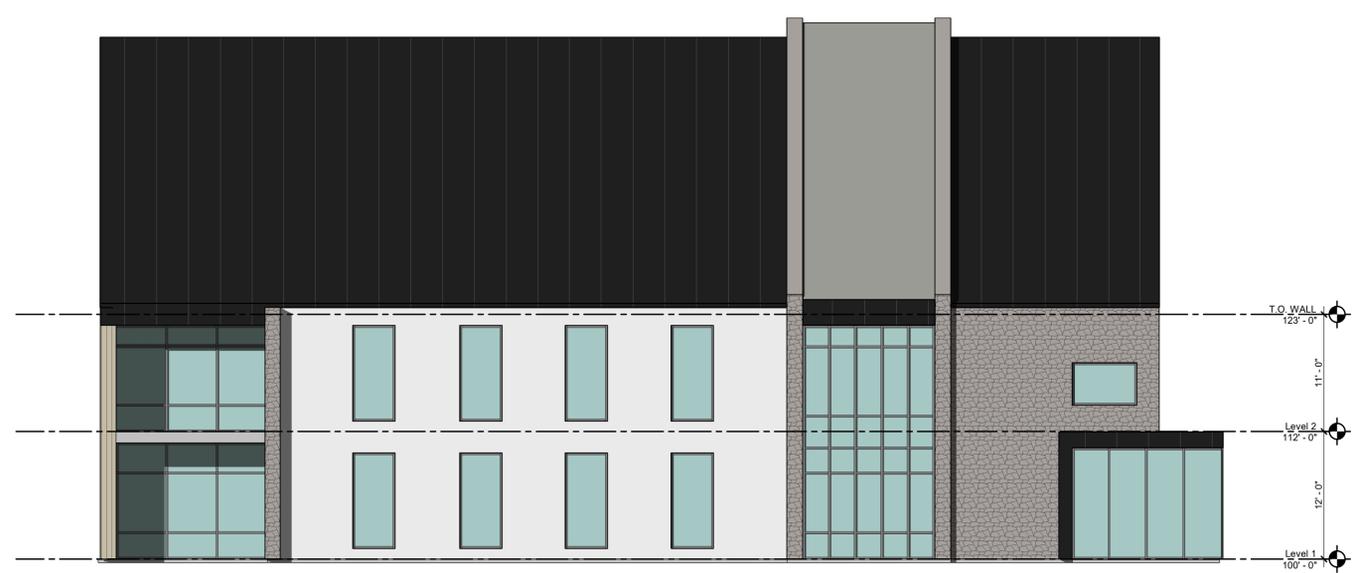
**04 WEST ELEVATION**  
 1/8" = 1'-0"



**03 NORTH ELEVATION**  
 1/8" = 1'-0"



**02 EAST ELEVATION**  
 1/8" = 1'-0"



**01 SOUTH ELEVATION**  
 1/8" = 1'-0"



## Planning Commission Staff Report October 8, 2020

---

### Item 4: Project Master Plan/Development Agreement and Schematic Plan—Auto Spa Car Wash

Public Hearing:	Yes
Application No.:	PMP-4-20
Property Address:	Approx. 1200 West
General Plan Designation:	TMU (Transportation Mixed Use)
Zoning Designation:	GMU (General Mixed Use)
Area:	1.72 Acres
Number of Lots:	1
Property Owner:	E & H Land LTD
Applicant:	Jim and Tana Besendorfer

Request: *Recommendation to approve a Project Master Plan/Development Agreement and Schematic Plan for a proposed Auto Spa Car Wash.*

---

#### **Background Information**

A car wash is not an allowed use in the GMU zone. However, the applicant is requesting that the City permit such a use pursuant to Section 11-18-140 of the Zoning Ordinance. This type of decision is analogous to a legislative act and is at the sole discretion of the City—it is a policy question. The PMP/Schematic plan process is just beginning and some direction is sought now as to whether or not the City might, or is even willing to, favorably consider a car wash at this location. Attached is information from the owners of the proposed use to help the Planning Commission formulate a recommendation to the City Council.

[Note: Owners of land involving at least 25 acres in the mixed-use zones identified in Chapter 18 of the Zoning Ordinance may elect to use the alternative approval process set forth in Section 11-18-140, but the applicant's site does not meet this threshold. However, E & H Land LTD, which owns this property and some 62+ acres north of Park Lane, entered into an agreement (including an accompanying "global" PMP) with the City on June 9, 2020, which allows the City to consider applications through Section 11-18-140 for property less than the 25 acres in size].

**Suggested Alternative Motions**

1. Move that the Planning Commission recommend that the City Council not allow a car wash at the site proposed by the applicant, and table consideration of a Project Master Plan (PMP)/Development Agreement and Schematic Plan until a decision is made regarding this policy question by the Council.

Findings:

It is proposed that the Planning Commission express reasons to not allow a car wash at this site, then City staff will organize these findings in writing for their final review/approval at the next Commission meeting.

- OR -

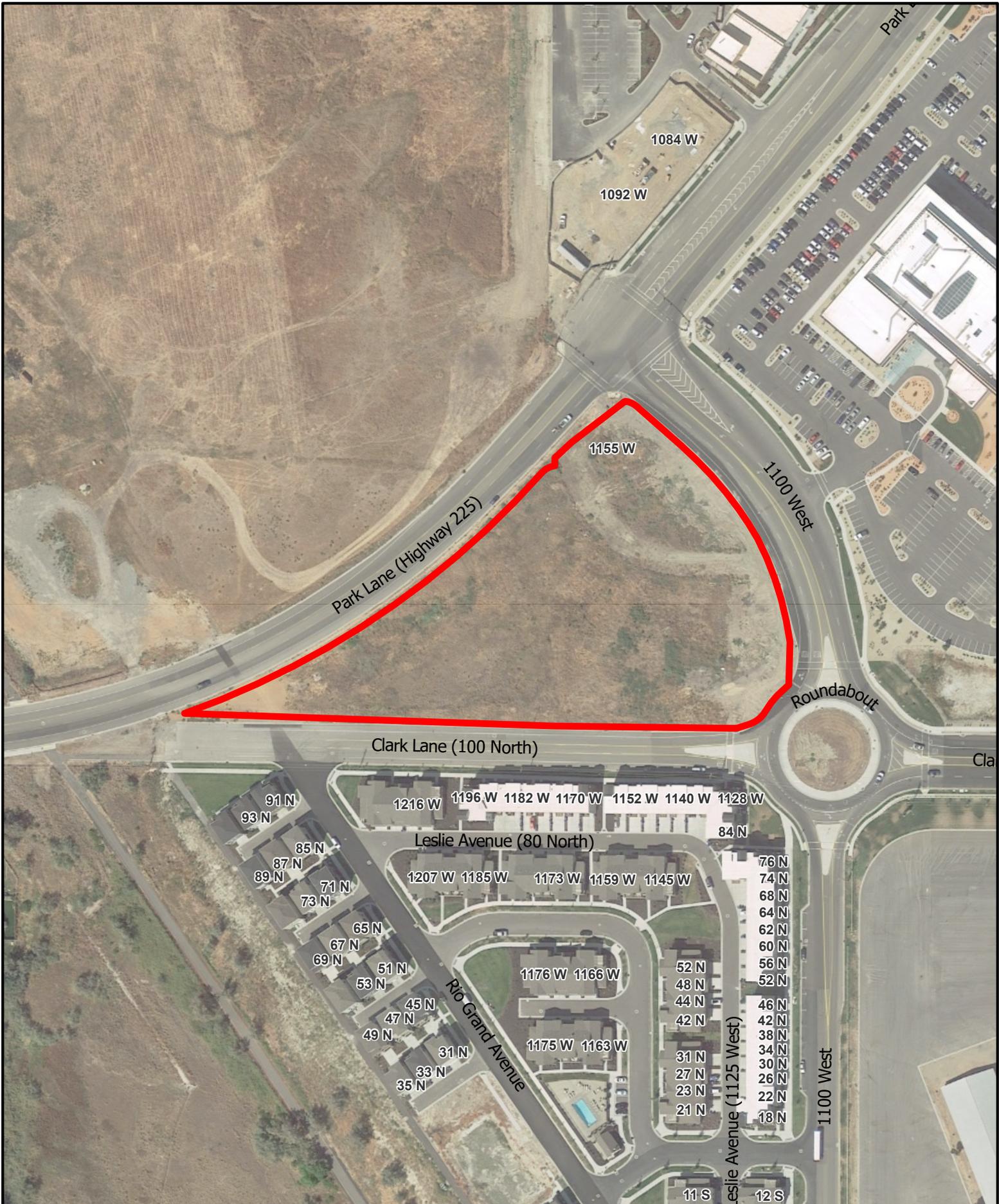
2. Move that the Planning Commission recommend that the City Council allow a car wash at the site proposed by the applicant, and table consideration of a Project Master Plan (PMP)/Development Agreement and Schematic Plan until a decision regarding this policy question is made by the Council.

Findings:

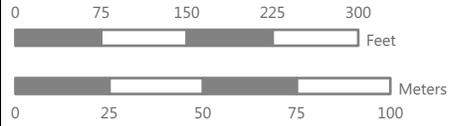
It is proposed that the Planning Commission express reasons to allow a car wash at this site, then City staff will organize these findings in writing for their final review/approval at the next Commission meeting.

**Supplemental Information**

1. Vicinity Map
2. PMP and Schematic Plan information from the applicant.



**VICINITY MAP**  
Auto Spa



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



191 and 255 N. Main  
Heber City, UT 84032  
435-654-2779

---

Auto Spa of Heber City, Inc. is a Utah, family-owned company; owned by James and Tana Besendorfer and operated by James, Tana, Boston & Brooke Besendorfer. Auto Spa currently has two locations in Heber City, Utah and is seeking approval for a new exterior express car wash location in Farmington, Utah. Auto Spa is ready to expand to a new location, but we don't want to go just anywhere; we want to be in another community like Heber City. We have carefully evaluated areas within Utah to build a new location and Farmington is the spot for us. We are so excited for the opportunity to serve in a wonderful community like Farmington. As we have driven through Farmington, we've been so impressed and noticed well-kept neighborhoods, homes and businesses. It is easy to see that the people who live in Farmington love their city. We've also seen friendly, helpful people, many of whom wave as you drive by.

Residents are leaving Farmington to wash their cars. We want to build a great car wash that will help people keep their cars clean without having to leave their beautiful little city. Auto Spa is a high-end car wash and we feel that Farmington, like Heber City, will appreciate the addition of this quality service in the community. We plan to keep the Auto Spa facility in Farmington at the same high standard as our Heber City location. Extra time and money are put into the appearance of our building, grounds and landscaping to add to the quality and beauty of the city. The materials and elevations will be similar to our current Heber City location (see attached picture examples). The new exterior express car wash will be approximately 200' in length with a two-story tower that is approximately 35' high. Customer service is a top priority for us, we strive to create a team that loves the business of cleaning cars and providing outstanding service. We want to bring the great feeling we've had from the community in Heber to Farmington. These are a few of our most recent comments:

"We moved to Heber from Wisconsin recently and I wanted to tell you that this is the best car wash I've ever seen. I love everything about it! And your people are so nice."

"I live in California, but have a home in Heber. I just wanted to let you know what an awesome wash you have, I love it! Southern Cal needs a wash like yours."

"I had a list of things I needed to check off before we moved to Heber. When I found out your car wash was here and saw how good it was, my decision was made."

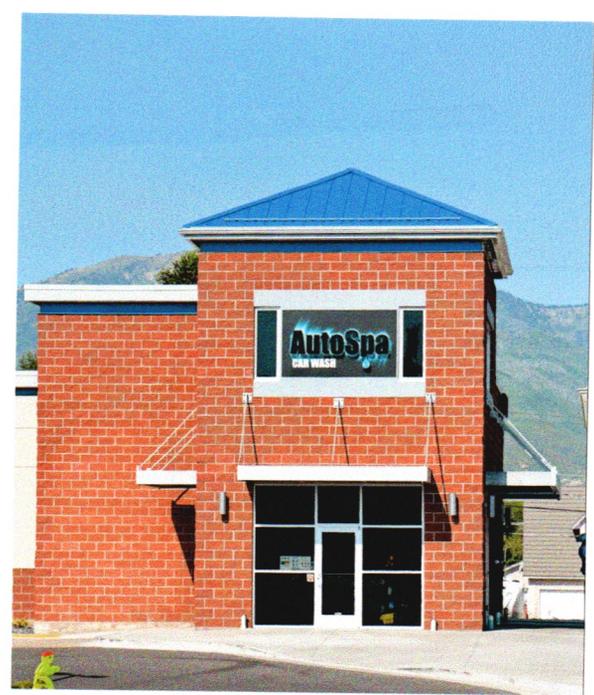
“This is the best business that’s come to Heber, I love it!”

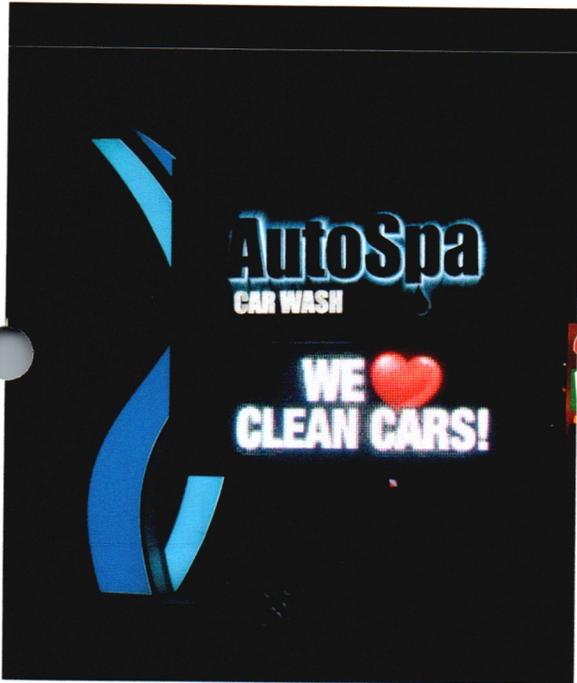
“We love coming to your wash, my kids ask if we can go to the Disneyland car wash.”  
(Maybe in Farmington the kids will ask to go to the Lagoon car wash!)

In a short time, our hearts have really become attached to Farmington and we truly want to be a great addition to the city and community. At Auto Spa, “We Love Clean Cars” and want to help Farmington be a clean car community!

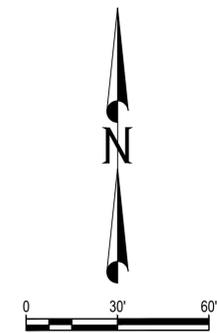
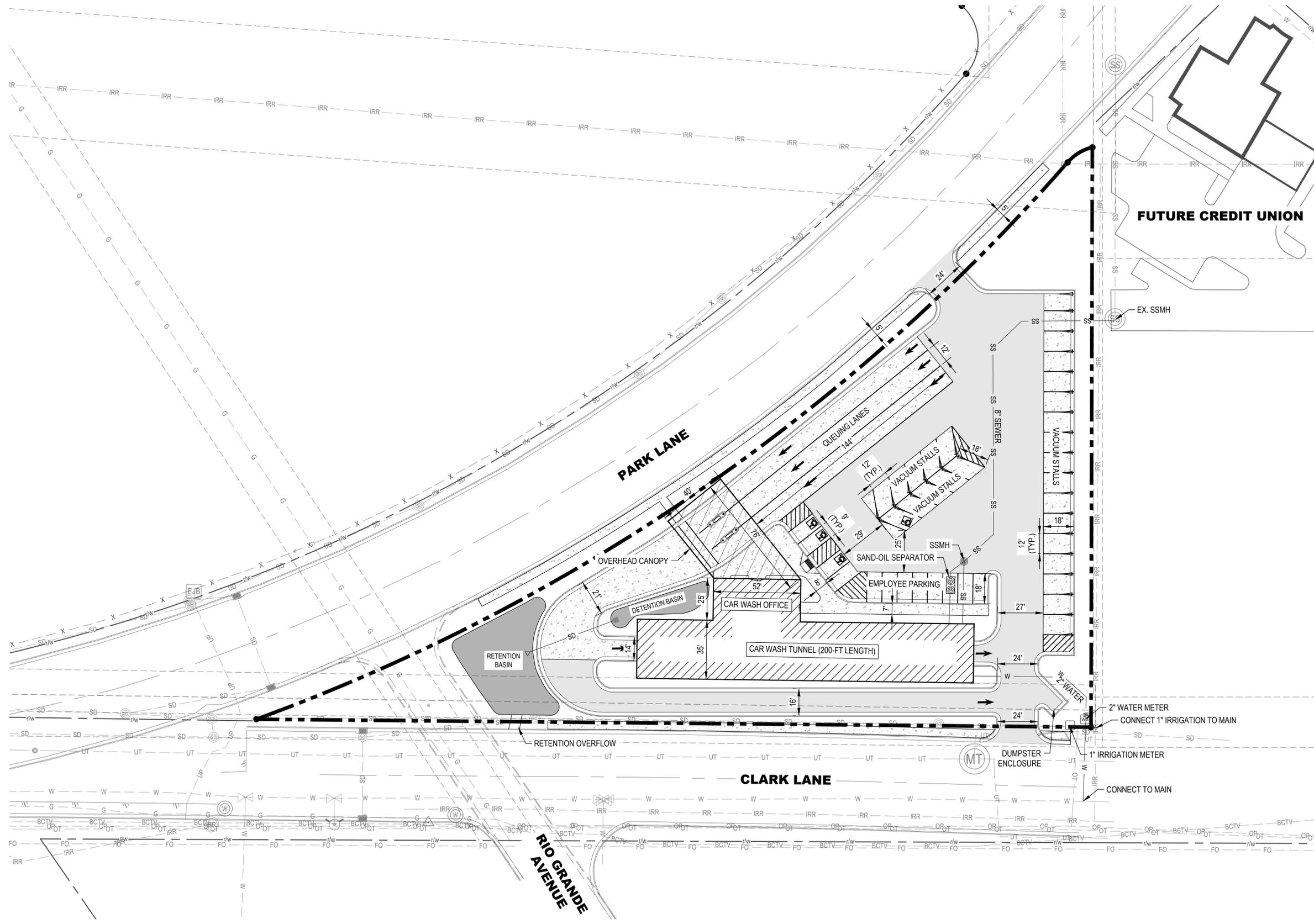
Regards,

James and Tana Besendorfer  
AUTO SPA OF HEBER CITY, INC.





File Path: P:\2020-0105 beesy-farmington car wash\Drawings\SHEETS\CP101 SITE PLAN.dwg Aug 17, 2020 - 8:56am



- LEGEND**
- PAVEMENT MARKING
  - TRUNCATED DOME
  - EDGE OF CONCRETE
  - PARKING STRIPING
  - CURB AND GUTTER
  - PROPERTY LINE
  - CONCRETE PAVEMENT
  - ASPHALT PAVEMENT
  - DETENTION / RETENTION BASIN
  - SD STORM DRAIN
  - W CULINARY WATER
  - SS SANITARY SEWER

**PARKING FOR CAR WASH FACILITY**

BUILDING SQUARE FOOTAGE	8,275 ±
REQUIRED PARKING	33 STALLS
EMPLOYEE PARKING	9 STALLS
ADA PARKING	3 VAN ACCESSIBLE
VACUUM STALLS	27 (1 ADA)
PROVIDED STALLS	39 STALLS

NO.	DATE	DESCRIPTION

IF THE ABOVE SCALE BAR DOES NOT MEASURE 1-INCH IN LENGTH, DO NOT USE THIS DRAWING FOR SCALING PURPOSES. DIMENSIONS AND MEASUREMENTS SPECIFIED IN THE DRAWING TAKE PRECEDENCE TO SCALED MEASUREMENTS.

THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF CRS ENGINEERS AND IS NOT TO BE REPRODUCED, MODIFIED OR USED FOR ANY OTHER PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY AGREEMENT WITH CRS ENGINEERS.

PRINCIPAL: D. ANDERSON, P.E.  
 PROJECT MANAGER: G. NELSON, P.E.  
 CHECKED BY: D. CROMAR, P.E.  
 DRAWN BY: K. FOSTER  
 DRAWING SCALE: 1" = 30'  
 ISSUE DATE: AUGUST 17, 2020

**CRS ENGINEERS**  
 Answers to Infrastructure®

4246 S Riverboat Rd, Ste 200 | Salt Lake City, UT 84123 | P: 801.359.5565 | www.crsengineers.com

AUTO SPA OF HEBER CITY, INC.  
**FARMINGTON CAR WASH**  
 SITE PLAN

PRELIMINARY SITE DESIGN

PARK LANE AND CLARK LANE

SALT LAKE CITY, UTAH 84109

PROJECT NUMBER	2020-0105	
SHEET	2	OF 2
SHEET NUMBER	CP101	



## Planning Commission Staff Report October 8, 2020

---

### Item 5: Project Master Plan/Development Agreement and Schematic Plan— The Everly

Public Hearing: Yes  
Application No.: PMP-5-20  
Property Address: Approx. 1200 West  
General Plan Designation: TMU (Transportation Mixed Use)  
Zoning Designation: RMU (Residential Mixed Use)  
and GMU (General Mixed Use)  
Area: 13.18 acres  
Number of Lots:  
Property Owner: E & H Land LTD  
Applicant: Bryce Thurgood – Castle Creek Homes

Request: *Recommendation to approve a Project Master Plan/ Development Agreement and to approve Schematic Plan for The Everly, an apartment complex totaling 352 units*

---

#### **Background Information**

Three story apartment buildings are not permitted in the RMU zone. However, the applicant is requesting that the City permit such a use pursuant to Section 11-18-140 of the Zoning Ordinance. This type of decision is analogous to a legislative act and is at the sole discretion of the City—it is a policy question. The PMP/Schematic plan process is just beginning and some direction is sought now as to whether or not the City might, or is even willing to, favorably consider three story apartment buildings at this location. Attached is information from the owners of the proposed use to help the Planning Commission formulate a recommendation to the City Council.

[Note: Owners of land involving at least 25 acres in the mixed-use zones identified in Chapter 18 of the Zoning Ordinance may elect to use the alternative approval process set forth in Section 11-18-140, but the applicant’s site does not meet this threshold. However, E & H Land LTD, which owns this property and the rest of the 62+ acres north of Park Lane, entered into an agreement (including an accompanying “global” PMP) with the City on June 9, 2020, which allows the City to consider applications through Section 11-18-140 for property less than the 25 acres in size].

#### **Suggested Alternative Motions**

1. Move that the Planning Commission recommend that the City Council not allow three story apartment buildings at the site proposed by the applicant, and table consideration of a Project Master

Plan (PMP)/Development Agreement and Schematic Plan until a decision is made regarding this policy question by the Council.

Findings:

It is proposed that the Planning Commission express reasons to not allow three story apartment buildings at this site, then City staff will organize these findings in writing for their final review/approval at the next Commission meeting.

- OR -

2. Move that the Planning Commission recommend that the City Council allow three story apartment buildings at the site proposed by the applicant, and table consideration of a Project Master Plan (PMP)/Development Agreement and Schematic Plan until a decision regarding this policy question is made by the Council.

Findings:

It is proposed that the Planning Commission express reasons to allow three story apartment buildings at this site, then City staff will organize these findings in writing for their final review/approval at the next Commission meeting.

**Supplemental Information**

1. Vicinity Map
2. PMP and Schematic Plan information from the applicant.



# VICINITY MAP

The Everly



Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.



STREET ELEVATION



TUCK-UNDER GARAGE ELEVATION

STATION PARK - FARMINGTON





**UNIT MIX:**

1-BED UNIT	85	24.2%
2-BED/2BATH	185	52.5%
3-BED/2BATH	82	23.3%

TOTAL UNITS 352  
 13.18 ACRES = 26.7 UNITS/ACRE

**TABULATION:**

APARTMENTS	352 UNITS
SURFACE PARKING	53 STALLS
CARPORT PARKING	135 STALLS
GARAGES	201 STALLS
TANDEM PARKING	201 STALLS
STREET PARKING	102 STALLS

TOTAL STALLS: 692 STALLS  
 OVERALL RATIO: 1.97 STALLS / UNIT

STATION PARK - FARMINGTON



PROJECT NUMBER

18-044

SHEET TITLE

ELEVATIONS  
BLDG. 'B' / 'C' 20-PLEX  
SCALE: 1/8" = 1'-0"

PROJECT/OWNER

APARTMENTS  
AT FARMINGTON STATION  
XX  
FARMINGTON, UT  
CASTLE CREEK HOMES

ARCHITECT

architecture  
2033 den drive  
Farmington, UT 84404  
(801) 593-9338  
(801) 593-9328 FAX

REVISION

DATE

11 SEP 2020

SHEET NUMBER

A3.1



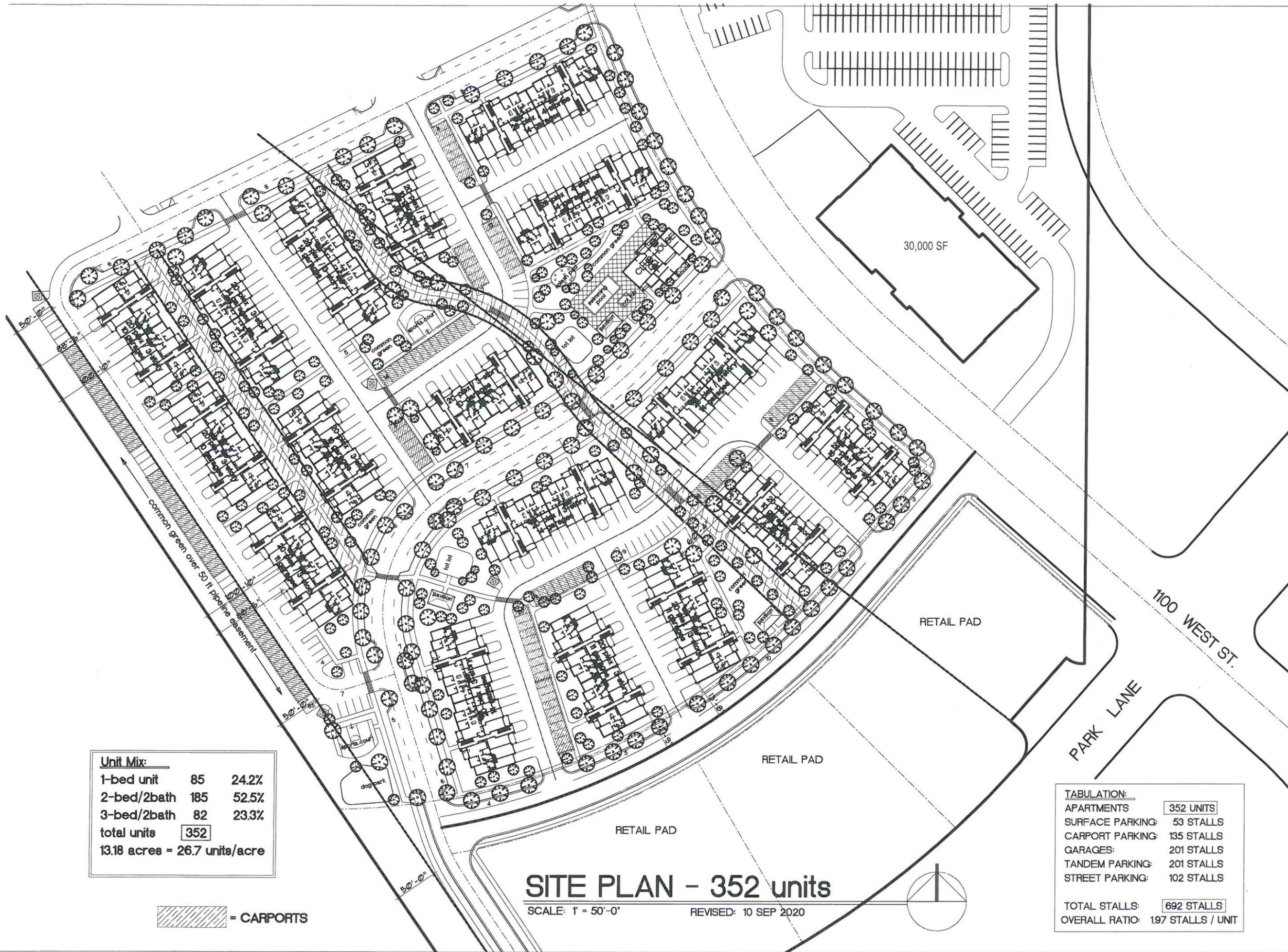
3-STORY BUILDING - STREET ELEVATION

SCALE: 1/8" = 1'-0"



3-STORY BUILDING - TUCK-UNDER GARAGE ELEVATION

SCALE: 1/8" = 1'-0"



PROJECT NUMBER  
18-044

SHEET TITLE  
SITE PLAN  
352 UNITS  
SCALE : 1" = 50'-0"

PROJECT/OWNER  
FARMINGTON STATION  
FARMINGTON, UTAH  
STATION PARKWAY  
FARMINGTON, UTAH  
CASTLE CREEK HOMES

ARCHITECT

architecture

2033 dan drive B4040  
layton, utah 84040  
(801) 593-9338  
(801) 593-9328 FAX

REVISION  
--

DATE  
10 SEP 2020

SHEET NUMBER  
A1.1

**Unit Mix:**

1-bed unit	85	24.2%
2-bed/2bath	185	52.5%
3-bed/2bath	82	23.3%
<b>total units</b>	<b>352</b>	
13.18 acres = 26.7 units/acre		

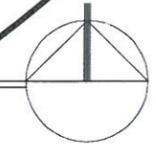
= CARPORTS

**TABULATION:**

APARTMENTS	352 UNITS
SURFACE PARKING:	53 STALLS
CARPORT PARKING:	135 STALLS
GARAGES:	201 STALLS
TANDEM PARKING:	201 STALLS
STREET PARKING:	102 STALLS
<b>TOTAL STALLS:</b>	<b>692 STALLS</b>
<b>OVERALL RATIO:</b>	<b>197 STALLS / UNIT</b>

**SITE PLAN - 352 units**

SCALE: 1" = 50'-0"      REVISED: 10 SEP 2020





## Planning Commission Staff Report October 8, 2020

---

### Item 6a: Development Agreement Amendment and Site Plan—Quick Quack Car Wash

Public Hearing:	Yes
Application No.:	SP-2-20
Property Address:	Approx. 1200 West
General Plan Designation:	TMU (Transportation Mixed Use)
Zoning Designation:	GMU (General Mixed Use)
Area:	
Number of Lots:	
Property Owner:	Station Park CenterCal LLC
Applicant:	Scott Arrington

Request: *Site plan approval and a recommendation to amend a development agreement for a proposed Quick Quack Car Wash.*

---

#### **Background Information**

A car wash is not an allowed use in the GMU zone. However, land use decisions related to this site are also governed by a development agreement (and amendments to his agreement) that the City initially entered into with CenterCal on January 26, 2007. This type of decision to amend this agreement is analogous to a legislative act and is at the discretion of the City—it is a policy question. The site plan review process is just beginning and some direction is sought now as to whether or not the City might, or is even willing to, favorably consider a car wash at this location. Attached is information from the applicant to help the Planning Commission formulate a recommendation to the City Council.

#### **Suggested Alternative Motions**

1. Move that the Planning Commission recommend that the City Council not allow a car wash at the site proposed by the applicant, and table consideration of the site plan until a decision is made regarding the policy question to amend the development agreement by the Council.

#### **Findings:**

It is proposed that the Planning Commission express reasons to not allow a car wash at this site, then City staff will organize these findings in writing for their final review/approval at the next Commission meeting.

- OR -

2. Move that the Planning Commission recommend that the City Council allow a car wash at the site proposed by the applicant, and table consideration of the site plan until a decision is made regarding the policy question to amend the development agreement by the Council.

Findings:

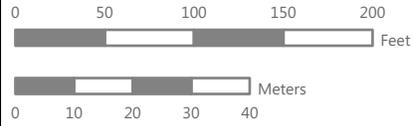
It is proposed that the Planning Commission express reasons to allow a car wash at this site, then City staff will organize these findings in writing for their final review/approval at the next Commission meeting.

**Supplemental Information**

1. Vicinity map
2. Site plan information from the applicant.

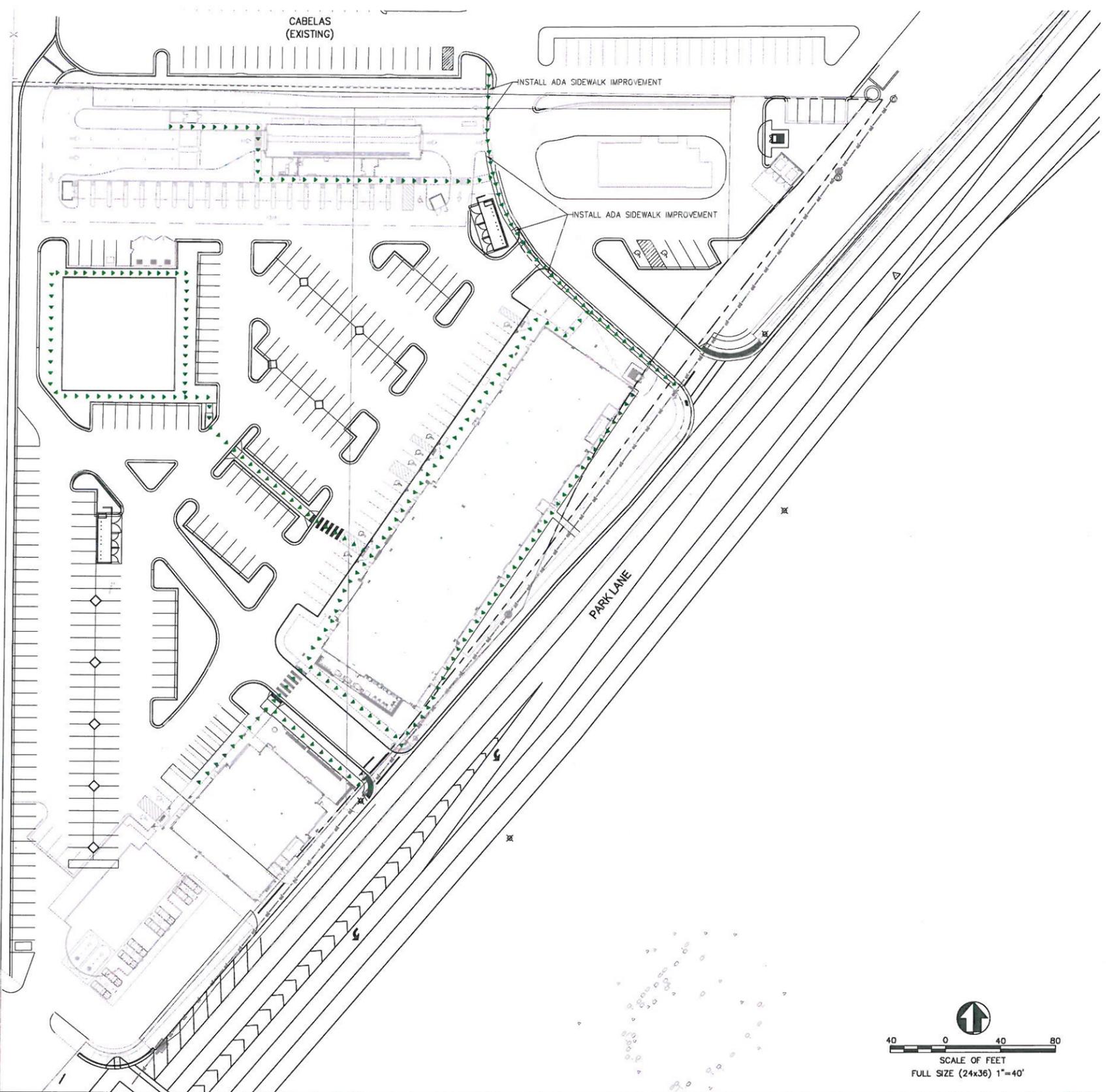


**VICINITY MAP**  
Quick Quack CenterCal

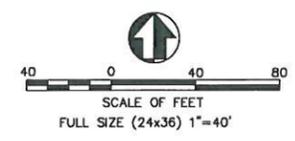


Disclaimer: This map was produced by Farmington City GIS and is for reference only. The information contained on this map is believed to be accurate and suitable for limited uses. Farmington City makes no warranty as to the accuracy of the information contained for any other purposes.

U:\BCLP\010500\ENGR\DRAWINGS\DESIGN\OPTIONS\2020-07-08 CAR WASH\BCLP010500-SP NORTH-C-DS(CARWASH).DWG COLE FRITZ



ACCESSIBLE ROUTE. ALL CONSTRUCTION ALONG THIS ROUTE AND IN ADA PARKING STALLS SHALL BE CONSTRUCTED ACCORDING TO THE LATEST EDITION OF THE AMERICANS WITH DISABILITIES ACT AND THE UTAH BUILDING CODE. ALL FINISHED GRADES WILL BE CHECKED FOR COMPLIANCE WITH A DIGITAL SMART LEVEL. AREAS FOUND OUT OF COMPLIANCE WILL BE REQUIRED TO BE BROUGHT INTO COMPLIANCE

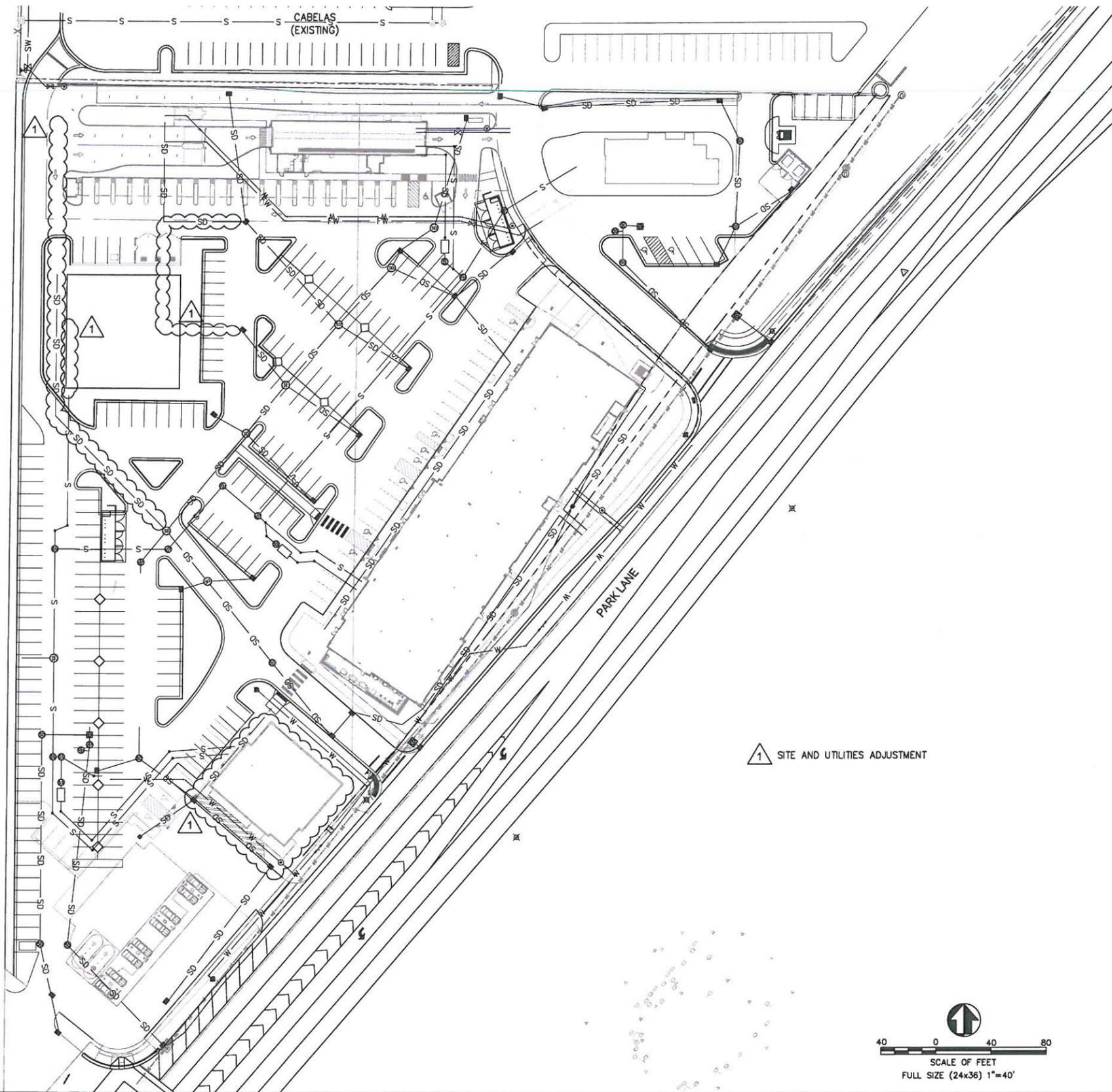


# STATION PARK WEST

## OVERALL SITE PLAN

**PSOMAS**  
4179 S. Riverboat Rd., Suite 200  
Salt Lake City, UT 84123  
(801) 270-5777

U:\BCLP\0500\ENGR\DRAWINGS\DESIGN\OPTIONS\2020-07-08 CAR WASH\BCLP\0500-SP CAR WASH WITH UTILITIES EXHIBIT.DWG JESSE MORENO



# STATION PARK WEST

## OVERALL UTILITY PLAN

**PSOMAS**

4179 S. Riverboat Rd., Suite 200  
 Salt Lake City, UT 84123  
 (801) 270-5777

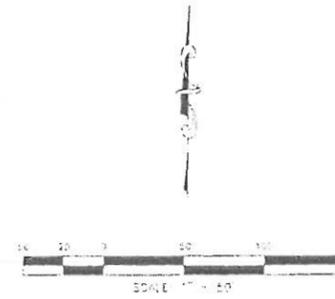
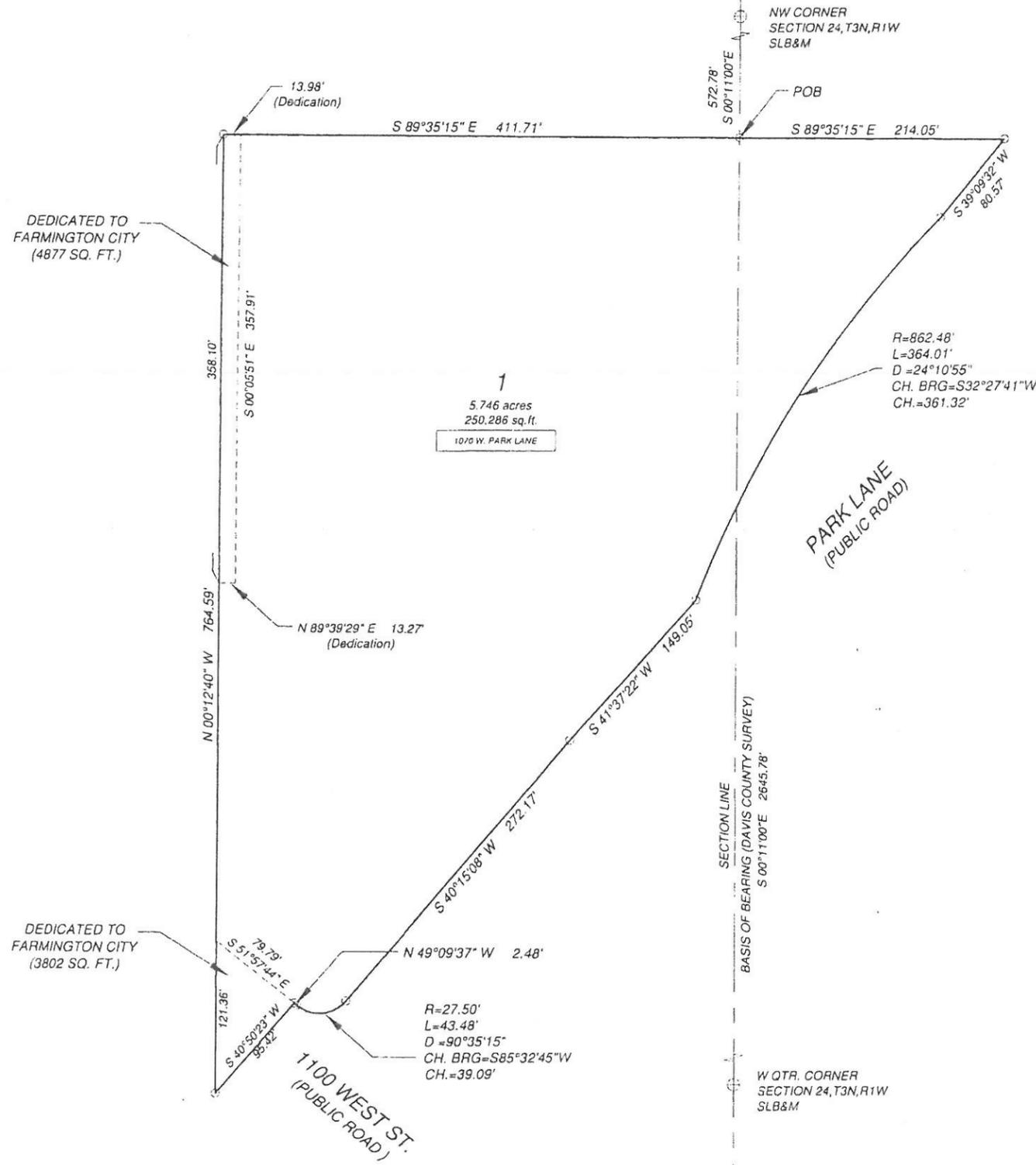
7/23/2020 3:46 PM



# STATION PARK NORTH SUBDIVISION

A SUBDIVISION LYING AND SITUATE IN THE NORTHWEST QUARTER OF SECTION 24,  
AND THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 3 NORTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN, FARMINGTON CITY, DAVIS COUNTY, UTAH.

## GIS INFORMATION



### BOUNDARY DESCRIPTION (DAVIS COUNTY BEARING SYSTEM)

A parcel of land lying and situate in the Northwest Quarter of Section 24 and the Northeast Quarter of Section 23, Township 3 North, Range 1 West, Salt Lake Base and Meridian, City of Farmington, County of Davis, State of Utah, being more particularly described as follows:

COMMENCING at the Northwest corner of said Section 24; thence South 00°11'00" East 572.78 feet along the Section line to the POINT OF BEGINNING and the South boundary of Park Lane Commons Phase 4 Plat, recorded March 20, 2017, Book 6725, Page 104, in the office of the Davis County Recorder; thence along said South boundary South 89°35'15" East 214.05 feet; thence along the West right of way line of Park Lane the following seven (7) courses: (1) South 39°09'32" West 80.57 feet; (2) 364.01 feet along the arc of an 862.48 foot radius curve to the left (chord bears South 32°27'41" West 361.32 feet) through a central angle of 24°10'55" to the westerly line of the land described in that certain Special Warranty deed Recorded May 17, 2015, as Entry No. 2866479 in Book 8265 at page 1357 in the Office of the Recorder of Davis County; (3) South 41°37'22" West 149.05 feet; (4) South 40°15'08" West 272.17 feet; (5) 43.48 feet along the arc of a 27.50 foot radius curve to the right (chord bears South 85°32'45" West 39.09 feet) through a central angle of 90°35'15"; (6) North 49°09'37" West 2.48 feet; (7) South 40°50'23" West 95.42 feet; thence North 00°12'40" West 764.59 feet to the South boundary of Park Lane Commons Phase 4 Plat, recorded March 20, 2017, Book 6725, Page 104, in the office of the Davis County Recorder; thence along said South boundary South 89°35'15" East 411.71 feet to the POINT OF BEGINNING.

Contains 250,965 sq. ft. / 5.945 acres / 1 Lot

SHEET 2 OF 2

DAVIS COUNTY RECORDER

ENTRY NO. 3091164 FEE PAID \$61.00

FILED FOR RECORD AND RECORDED THIS 14 DAY

OF June 2018 AT PAGE 1034 IN BOOK 7036

OF OFFICIAL RECORDS

*Richard T. Maughan*  
DAVIS COUNTY RECORDER

BY *Spide Thomas*  
DEPUTY RECORDER

DATE: 06/14/18

SCALE: 1" = 40'

PROJECT No: SCPL010503

**PSOMAS**  
479 South Riverbend Road, Suite 200  
Salt Lake City, Utah 84123  
(801) 270-5777 (801) 270-5747 (FAX)