

# Building Department

## Building Permits and Design Criteria:

Building permits are beneficial to you and the community toward protecting the outcome and investment value of your construction project and guarding against a lawsuit or injury. By working with a code official, you will benefit from their knowledge of the building codes to ensure your project is built right and will be safe.

Permits are required for new construction, additions, decks, garages, renovations, conversions, basement finishes, electrical systems, plumbing systems, HVAC (heating, ventilation, and air conditioning systems), accessory structures, retaining walls over four feet in height, etc.

Building Permit Packets are available at City Hall, 160 S. Main, or can be downloaded from this website. The packet contains a permit application. Basically, the city requires two sets of plans (to scale) and engineering calculations wet-stamped by an engineer, two copies of a site plan including grading and drainage, a completed application with contractor information, and a \$75 plan check deposit (\$250 for commercial projects). Details are noted in the packet. The plan check process takes approximately 3 to 4 weeks.

Permit fees for an average sized home in a subdivision are approximately \$12,000. This includes the building fee, plan check fee, state fee, water meter/connection, sewer connection, irrigation connection if applicable, transportation, police and fire facilities fees, street cleaning, storm water application fee and a storm water bond that is refundable upon final inspection and approval.

If the property is not in a subdivision, the average permit fee would be approx. \$22,000. This includes the fees stated above and the impact fees for water, storm sewer, and parks.

Farmington City's design criteria are: 2015 International Building Code, 2017 Electrical Code, 2015 International Residential, Mechanical, Plumbing and Energy Codes, Seismic Zone D2, Wind 150 MPH 3 second gust V-ult ASCE-7 exposure B for most of Farmington (engineer shall evaluate), snow load 30 lb. (40 lb. in foothill zones).

Eric Miller  
Certified Building Official  
801-939-9219

Jim Day  
Certified Building Inspector  
801-939-9216

Heidi Gordon  
Building Secretary  
801-939-9214



## FARMINGTON CITY REQUIREMENTS FOR **RESIDENTIAL** BUILDING PERMIT APPLICATION

**\*\*THIS SHEET IS TO BE USED AS A CHECKLIST\*\***  
**\*\*DO NOT RETURN TO THE CITY\*\***

Application for residential permit will require the following prior to being submitted for review:

- A **completed** "Building Permit Application" **with** contractor license #'s. The City will verify that every contractor license is active through the Utah Division of Professional Licensing.
- (2) complete sets of plans stamped by an Engineer
- (2) copies of a Site Plan (**PLEASE SEPARATE FROM SET OF PLANS**)
- (2) copies of REScheck Compliance Certificates
- (2) Structural Calculations from an Engineer
- (2) copies of a Heating Plan & Calculations Manual D & J
- (2) Natural Gas Piping Compliance Form (and schematic if not drawn on house plans - a sample is included in this packet for reference)
- Signed and dated "Disclaimer" form regarding water/sewer laterals
- Signed and dated "Notice of Contractor/Plumber" form regarding meter yoke
- Signed and dated "Notice to Contractors" form regarding control of run-off
- Completed "Storm Water Land Disturbance" application (fee will be added to permit)
- Completed "Storm Water Pollution Prevention Plan" bond form (will be added to permit)
- Completed "Same Model" form (**if applicable**; must be turned in at the time of submittal)
- Soils Report (if required, please see the list of requirements included in this packet)
- Architectural approval (only required in Farmington Ranches & Farmington Meadows)
- An Excavation Permit from Public Works will need to be obtained prior to the Building Permit being issued. Public Works is located at 720 W. 100 N.
- \$75.00 plan check deposit made payable to *Farmington City* (we are **NOT** set up to accept credit cards). The deposit will be credited toward the total cost of the review fee when the permit is calculated. The plan check fee is non-refundable if the project is not completed.

- Fees are **not** calculated until after a full review has been completed. We do **not** give estimates on permits; we will explain how we calculate our fees but will not give any estimates. Other fees such as water/sewer connections, fire protection, irrigation, park impact, etc., are calculated in accordance with "Farmington City's Consolidated Fee Schedule" and "Impact Fee Schedule."
- The plan check and permit process can take approximately 3 to 4 weeks. After the initial plan check; the owner, contractor, and/or engineer must make all changes, corrections, additions, etc, as redlined marks indicate. All plans and forms must be returned to be re-checked. Several attempts may take place before the plans can be approved for construction and building permit issuance. Please note that if redlined plans are continually re-submitted without the changes the city indicated or major changes are made to the plans, a second plan check fee will be charged. If plans are reviewed by City Staff it will be \$55.00 per hour. If an outside consultant is required the cost will be \$100.00 per hour. This fee will be due prior to the second review taking place.
- Permits issued in Farmington City shall become null and void if:
  1. authorized work has ceased for 180 days
  2. authorized work is suspended or abandoned for 180 days after the time the work started
  3. it has been 180 days since the date of the last inspection
- The Building Official is authorized to grant, in writing, one or more extensions of time, for a period of not more than 180 days each. This extension shall be requested in writing with a justifiable cause demonstrated.  
 A final inspection is required in order for a project to be completed. If a final inspection is not scheduled and passed, the permit becomes non-compliant and may result in a lien against the property. Please be sure to schedule a final inspection to complete the project.
- Inspections requests need to be called in to our **Inspection Hotline at 801-882-8954**. If we are not able to answer because we are assisting other people, please leave **ONE** message and we will return your call to confirm your inspection. Please note we **DO NOT** do same day inspections and when setting up an inspection expect to be scheduled out at least 1 to 2 days.



FARMINGTON CITY · 160 S. MAIN STREET · (801) 451-2383

**BUILDING PERMIT APPLICATION**

Lot #: \_\_\_\_\_

Subdivision: \_\_\_\_\_

Project cost: \_\_\_\_\_

Property Address: \_\_\_\_\_

Type of Project: \_\_\_\_\_

**CONTACT INFORMATION OF PERSON TO CALL REGARDING PLANS AND PERMIT:**

Name: \_\_\_\_\_

Email: \_\_\_\_\_

Cell #: \_\_\_\_\_

Alternate #: \_\_\_\_\_

**BUILDING/PROPERTY OWNER:**

Name: \_\_\_\_\_

Zip Code: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

City: \_\_\_\_\_

Email: \_\_\_\_\_

**(1) GENERAL CONTRACTOR:**

Name: \_\_\_\_\_

State License #: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

Phone: \_\_\_\_\_

Zip Code: \_\_\_\_\_

**(2) ELECTRICAL CONTRACTOR:**

Name: \_\_\_\_\_

State License #: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

Phone: \_\_\_\_\_

Zip Code: \_\_\_\_\_

**(3) PLUMBING CONTRACTOR:**

Name: \_\_\_\_\_

State License #: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

Phone: \_\_\_\_\_

Zip Code: \_\_\_\_\_

**(4) MECHANICAL CONTRACTOR:**

Name: \_\_\_\_\_

State License #: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

Phone: \_\_\_\_\_

Zip Code: \_\_\_\_\_

**\* PLEASE NOTE WE ARE NOT SET UP FOR CREDIT CARDS \*  
CASH OR CHECK ONLY PLEASE**

# FARMINGTON CITY NATURAL GAS PIPING COMPLIANCE FORM

*Building Information*

Building Address: _____	Date: _____
Subdivision: _____	Lot #: _____

*Contractor Information*

Mechanical / HVAC Contractor: _____	
Address: _____	Phone: _____
Email: _____	

**GAS PRESSURE AT METER**

4 oz.

2lb.

Appliance	Qty:	Maximum BTU Input	CFH	Pipe Size
Boiler	_____	_____	_____	_____
Barbecue	_____	_____	_____	_____
Dryer	_____	_____	_____	_____
Fire Place	_____	_____	_____	_____
Fire Place	_____	_____	_____	_____
Fire Place	_____	_____	_____	_____
Furnace	_____	_____	_____	_____
Furnace	_____	_____	_____	_____
Furnace	_____	_____	_____	_____
Range	_____	_____	_____	_____
Cook Top	_____	_____	_____	_____
Unit Heater	_____	_____	_____	_____
Water Heater	_____	_____	_____	_____
Water Heater	_____	_____	_____	_____
Other	_____	_____	_____	_____
Other	_____	_____	_____	_____
Other	_____	_____	_____	_____
Total BTU	_____	_____	_____	_____
Total CFH	_____	_____	_____	_____
Maximum Developed Length	_____	_____	_____	_____
Inspected By: _____	<b>COMPLETE AND RETURN TO THE CITY</b>			

## DISCLAIMER

Farmington City assumes no responsibility for nor does it warrant or guaranty that the water and/or sewer lateral has been installed in the specific location shown on the as-built drawings furnished by the developer and/or the contractor. Persons applying for building permits may inspect the as-built drawings if they desire to do so in connection with locating their water and/or sewer lateral. However, the City has not prepared nor does it take any responsibility for the accuracy of any such drawings.

Received and accepted by: ✖ \_\_\_\_\_

**Building/Owner**

**Date**

## UTILITY LATERAL POLICY

Farmington City will warrant installation of water and sewer laterals, but only after the following has occurred:

1. The owner/builder excavates to the flow line of the sewer main on the private property side of the sidewalk 40 feet in each direction of where the as-built drawings show the sewer laterals to be, or to the property line, whichever is closer.
2. Regarding water laterals, excavation must be at least 6 feet deep and 40 feet in the opposite direction of where the as-built drawings show the lateral to be.
3. Authorization for actual installation is granted by Farmington City.

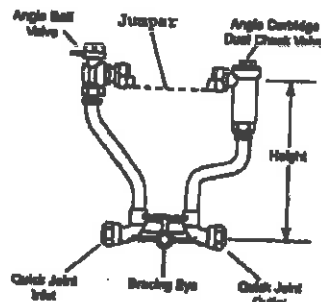
## NOTICE TO CONTRACTOR/PLUMBER

The meter yoke can be jumpered to allow for water use until your meter is set. The meter will be set AFTER the final inspection or temporary occupancy has been issued, at the discretion of the Building Inspector.

**CAUTION MUST BE EXERCISED WHEN INSTALLING JUMPER**  
¾" YOKES REQUIRE A JUMPER EXACTLY 7 1/2" LONG  
1" YOKES REQUIRE A JUMPER EXACTLY 10 ¾" LONG

Use of jumpers of any other length can damage the meter yoke and/or pipe fittings adjacent to it. Any damage to the yoke or plumbing caused by this action shall be the responsibility of the contractor/owner. When installing jumpers, gaskets must be used to ensure the yoke does not leak.

### **DO NOT TWIST OR BEND YOKE!**



✖ \_\_\_\_\_

**Contractor/Agent Signature**

**Date**

**COMPLETE & RETURN TO THE CITY AT TIME OF APPLICATION**



## NOTICE TO CONTRACTORS

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Federal and State regulations require us to control run-off water from all construction sites and keep dirt and debris from streets and gutters. This is to prevent pollution of downstream water and also prevent storm drains from filling with silt.

Farmington City has adopted the following policies to help resolve this problem:

1. All retention walls shall be in place prior to the start of framing.
2. Piles of dirt or debris will not be allowed in the street or on the sidewalk. No dirt ramps are allowed. Gravel ramps with 1"+, washed gravel are allowed if gravel is kept off the streets.
3. Contractors will be responsible to maintain all run-off water on the lot and prevent silt or rocks from washing onto neighboring properties or into the street. Straw wattles or silt fences have proven to be an effective method.
4. Downstream storm drains will be protected with gravel bags, or equivalent inlet protection.
5. Curb, gutters, and street will be inspected daily and swept daily if necessary.

In the event it becomes necessary, Farmington City will remove dirt or other debris from the street, gutter or sidewalk at the contractor's expense.

We appreciate your cooperation in these matters.

Eric Miller, Building Official  
Ken Klinker, Storm Water Official

**CONTRACTOR'S ACKNOWLEDGEMENT OF RECEIPT AND COMMITMENT OF COMPLIANCE THERETO:**

x

\_\_\_\_\_  
**Contractor Signature**

\_\_\_\_\_  
**Date**

**COMPLETE AND RETURN TO THE CITY WITH APPLICATION**

**COMPLETE AND RETURN IF APPLICABLE**



**SAME MODEL FORM**

GENERAL CONTRACTOR: \_\_\_\_\_

SUBDIVISION: \_\_\_\_\_

LOT #: \_\_\_\_\_ MODEL #/NAME: \_\_\_\_\_

SUBDIVISION/LOT # WHERE THIS MODEL WAS PREVIOUSLY USED:

LOT #: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_

OPTIONS (CHECK ALL THAT APPLY):

- NONE
- 3-CAR GARAGE
- FINISH BASEMENT
- BAY WINDOW
- ROOF
- ELEVATIONS
- OTHER \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_





**THIS SECTION OF THE PACKET IS FOR  
INFORMATIONAL PURPOSES ONLY,  
IT CONTAINS EXAMPLES AND REQUIREMENTS  
THAT YOU, THE CONTRACTOR OR OWNER,  
WILL NEED TO KNOW. PLEASE READ  
THROUGH IT CAREFULLY AND KEEP THEM  
FOR YOUR REFERENCE,  
DO NOT RETURN THEM TO THE CITY  
AT THE TIME OF APPLICATION.**

**PLEASE PAY CLOSE ATTENTION TO THE  
REQUIRED INSPECTIONS AND THE  
INSPECTION REQUEST PROCESS.**

## **CONTRACTOR INFORMATION – DO NOT RETURN TO THE CITY**



### **FARMINGTON CITY – LIST OF REQUIRED INSPECTIONS**

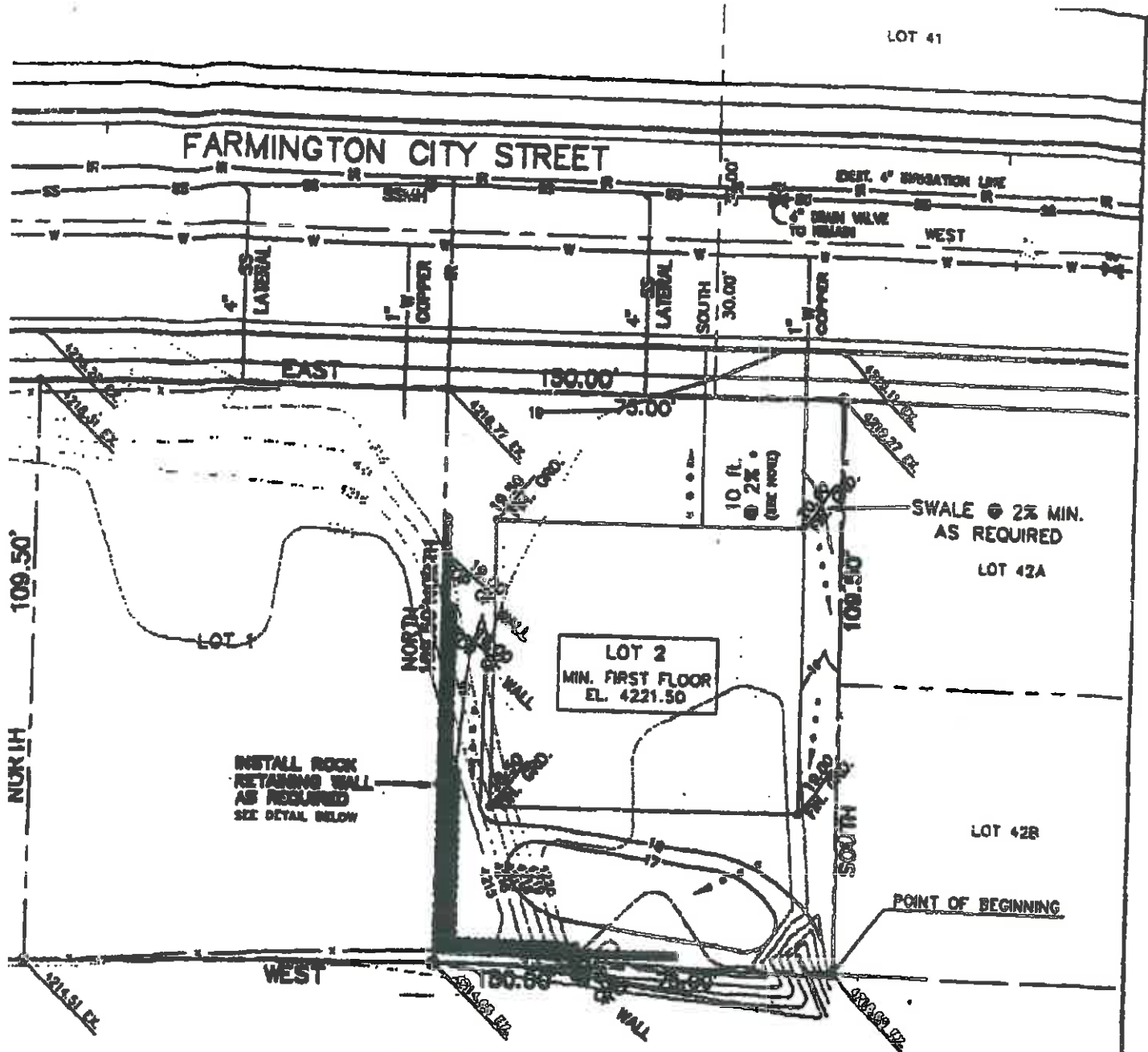
- Footings (excavation complete and forms in place, before pour)
- Foundation
- Underground Plumbing
- Water and Sewer Laterals
- Temporary Power Pedestal (if passed, the City will email clearance to Rocky Mtn. Power, owner/contractor must have account set up at power company before they will turn on power (1-888-221-7070))
- 4-Way (building enclosed, structural members still exposed and rough in for heating, plumbing, electrical work in place and visible)
- Gas Line (if passed, the City will email clearance to Questar Gas)
- Insulation
- Brick Flashing
- Permanent Power (if passed, the City will email clearance to Rocky Mtn. Power)
- Final
- Re-Finals ( as many as it takes to complete final inspection items)
- Final SITE/GRADING-inspection (schedule with Ken Klinker 939-9212)
- Other inspections and re-inspections as necessary

### **\*\*INSPECTION REQUEST PROCESS\*\***

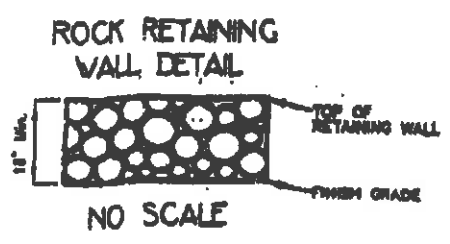
**Please become familiar with the following information and forward this information to all sub-contractors who call for inspections:**

- Post a copy of the permit on the jobsite
- **Inspection hotline 801-882-8954**
- Hotline hours 8:00 am – 4:00 pm, Monday thru Friday
- **NO SAME DAY INSPECTIONS**
- **Plan on 1-2 days out on inspections**
- For Commercial inspections, please have the type of inspection needed, day and time you would like the inspection, the project name, address and permit number when you call. If you leave a voice message, please remember to include your name and phone number so we can call you back.
- For Residential inspections, please have the type of inspection needed, day and time you would like the inspection, subdivision name and lot #, and permit number. If you leave a voice message, please remember to include your name and phone number so we can call you back.

If you do not have **ALL** of this information **DO NOT** call or leave a message, gather the information prior to calling. Please note, you may not get the exact day and time you request, but we will try to be as accommodating as possible.

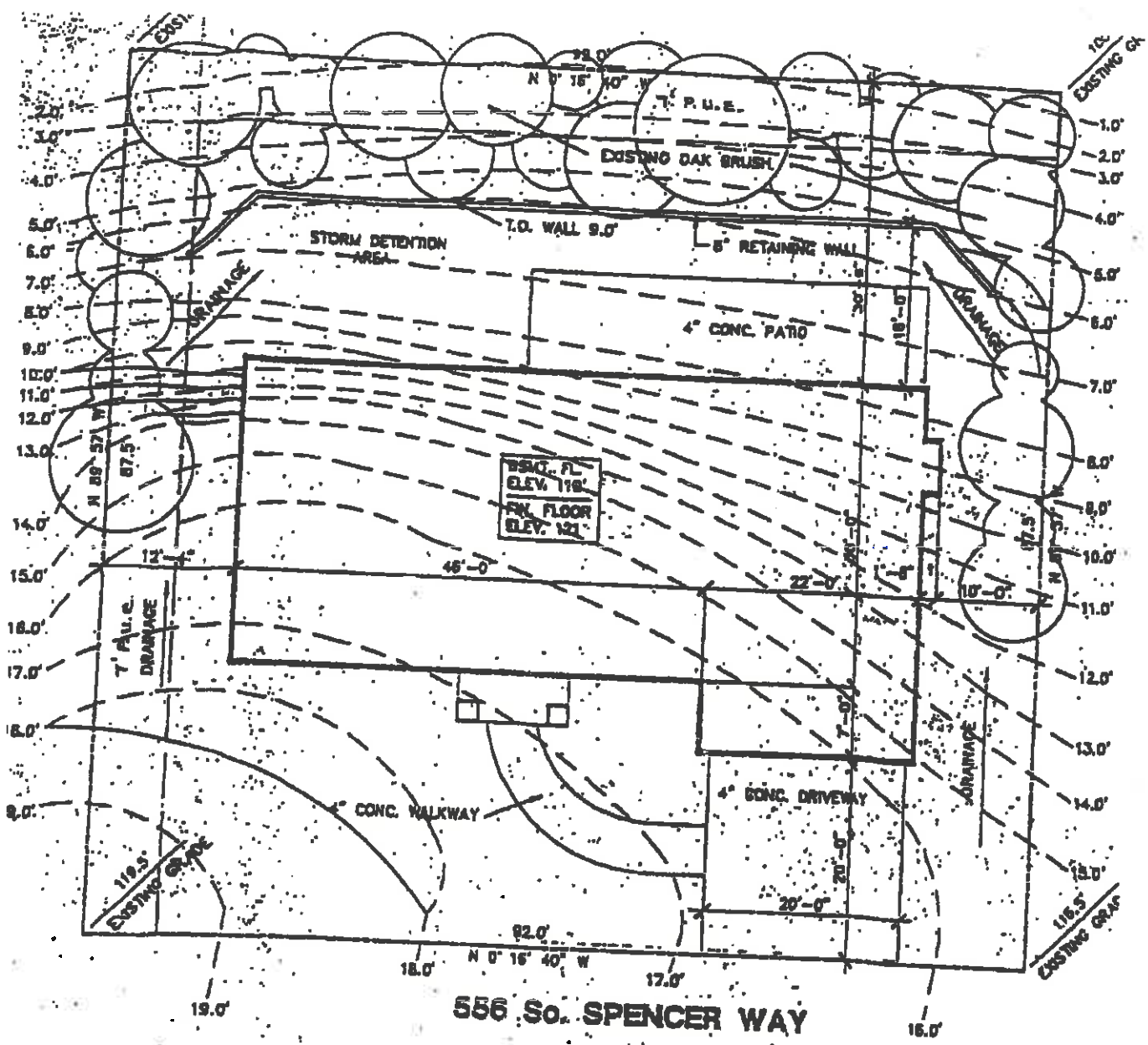


**CONTRACTOR INFORMATION**  
**DO NOT RETURN TO THE CITY**



• NOTE:  
 GRADE AWAY FROM HOUSE  
 FOR AT LEAST 10' @ 2% MIN.  
 (TYPICAL ALL SIDES)





**SITE PLAN**

SCALE: 1" = 10' LOT 2102 LAGUEY HILLS "B" SITE

All storm water, dirt, mud and debris will be kept on site during construction until final landscaping is complete.

Straw wattles (or equivalent) shall be placed and maintained around any storm drain inlet adjacent to or immediately downstream from site during construction.

Berms or swales may be required along property lines to prevent storm water flow onto adjacent lots. Final grading shall blend with the adjacent lots.

The grade away from foundation walls will fall a minimum of 6 inches in the first ten feet (5%).



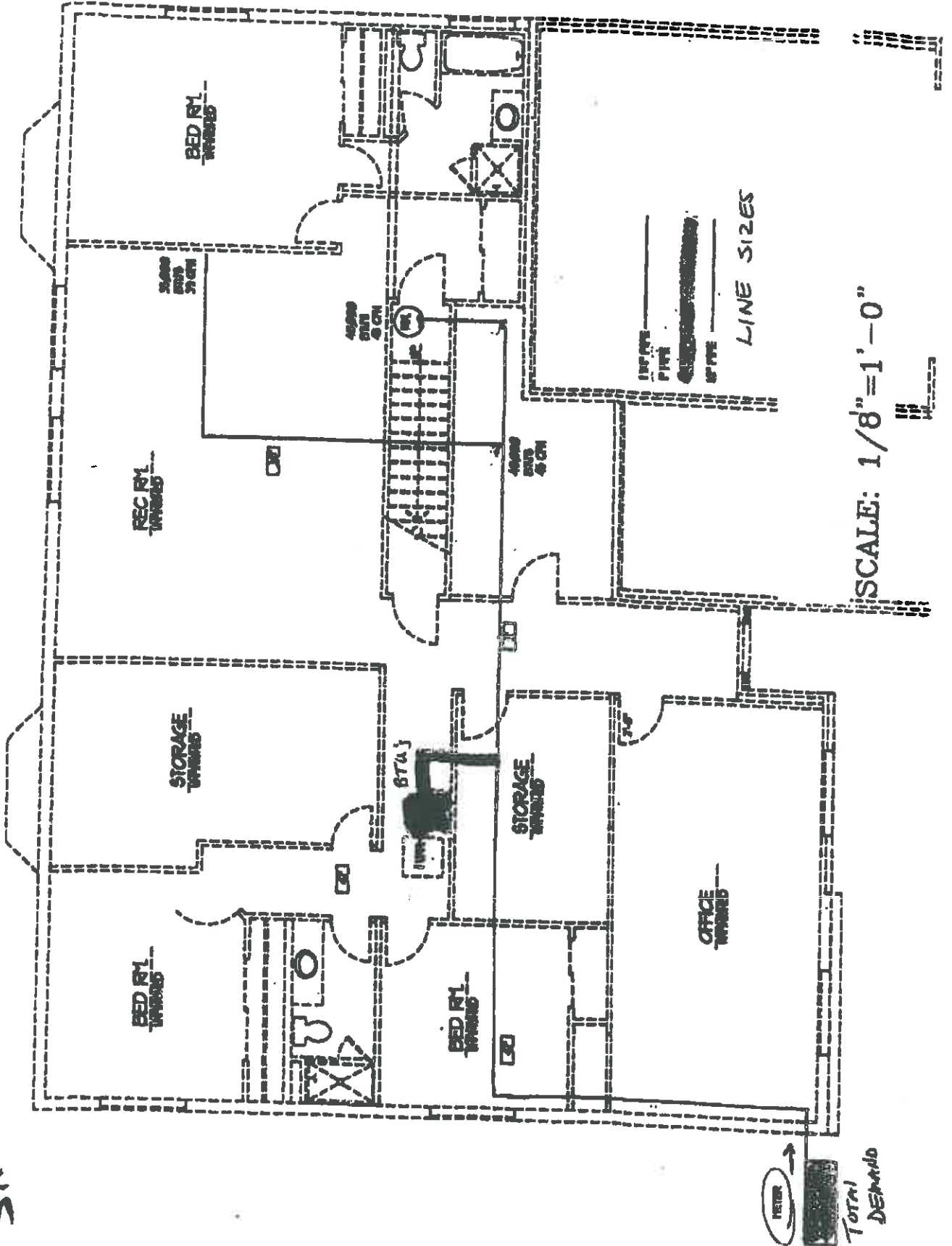
The street, top of curb, and gutter will be inspected and cleaned (including sweeping with broom if necessary) of all mud, dirt, and debris at the end of every day.

Note: All corner survey markers to be located (or re-set) to allow footing setbacks to be checked.

**CONTRACTOR INFORMATION  
DO NOT RETURN TO THE CITY**

# GAS PIPING LAYOUT

SAMPLE



CONTRACTOR INFORMATION  
DO NOT RETURN TO THE CITY

## **SOILS/GEOTECH REPORT REQUIREMENTS**

### **NOTICE TO CONTRACTORS/OWNER BUILDERS:**

Certain subdivisions, all hillside lots, and any lots requiring fill require a soils/geotech report. As of **March 1, 2000**, all Soils/GeoTech Reports required by Farmington City shall include a minimum of the following:

#### **Cover Page:**

1. Day, month, and year of report/inspection
2. Job location (address, lot #, and subdivision)
3. Location of observations
4. Client/owner of property
5. General Contractor (contact information)
6. Name and contact information of agency providing report

#### **Content:**

1. Observations
2. Recommendations
3. Modifications, changes or addendum to footing and foundation specifications
4. Structural fill material specifications
5. Compaction report requirements (lift specifications, minimum compaction percentage, etc.)
6. Floor slab requirements
7. Subdrain requirements

#### **Final Page:**

1. Any additional concerns/information relating to the stability of the property
2. Name, license number and stamp of engineer providing report

**Note:** The field inspector may require additional information at the time of the footing inspection.



**CONTRACTOR INFORMATION  
DO NOT RETURN TO THE CITY**

## **FRONTAGE MAINTENANCE POLICY**

Farmington City has adopted an ordinance in an attempt to control erosion on Farmington's sandy hillsides and elsewhere in the City. In years past, thousands of dollars have been expended to clean storm sewers that have been filled with silt, sand, or other erosion materials. Information from the ordinance applicable to property owners and contractors follows:

**Section 8-2-108 Frontage Maintenance.** It shall be the duty of each owner of real property abutting or fronting upon any street, highway, or alley way within the City to maintain the frontage area adjacent to their property out to the edge of the road asphalt in a safe and clean condition and to keep the frontage free of weeds and debris at all times. It shall be the duty of each owner of real property abutting or fronting upon any street, highway, or alley within the City to prevent any soil, sand, silt, or debris from migrating from or leaving the owner's property into any street, highway, or alley adjacent thereto. It shall be a Class "B" misdemeanor to violate any provision contained in this Section. In addition to other remedies available at law, upon any violation of this section, the city Zoning Administrator or the city Building Inspector shall have the right to stop any construction or activities upon the owner's property which may be causing deposit or material within the City street or right-of-way by issuing a stop work order, citation, or other directive to the property owner.

Farmington City believes property owners and contractors can do much to eliminate erosion problems as they begin new construction activities. Here are a few suggestions:

1. Consult a qualified engineer or landscape architect if erosion is likely and the solution does not appear obvious.
2. Build temporary de-silting ponds on site to catch erosion debris and maintain the same until permanent solutions can be implemented.
3. Line your frontage with straw bales to filter out the silt and sand and prevent the same from entering upon the street right-of-way.
4. Avoid constructing temporary sand and soil ramps across City gutters to gain access onto the property during construction. Instead, use lumber, logs or other material that will not erode away during stormy weather.
5. If you are advised of an erosion problem by the City, correct it immediately so the issuance of "stop work orders" or citations do not become necessary.

Keeping of erosion materials out of City street rights-of-way has become a priority with the City. Please take necessary precautions before erosion problems arise. Good luck in your construction efforts.

FARMINGTON, UTAH

ORDINANCE NO. 2000-28

AN ORDINANCE ENACTING SECTION 7-9-060.1 AND AMENDING SECTION 7-9-090 OF THE FARMINGTON CITY MUNICIPAL CODE PROVIDING FOR CONTROL OF BUILDING MATERIALS ON CONSTRUCTION SITES

BE IT ORDAINED BY THE CITY COUNCIL OF FARMINGTON CITY, STATE OF UTAH, AS FOLLOWS:

Section 1. **Enactment.** Section 7-9-060.1 of the Farmington City Municipal Code is hereby enacted and adopted to read in its entirety as follows:

**7-9-060.1 Construction Materials Control.**

It shall be the responsibility of each owner of real property and any contractor or builder constructing improvements on real property located within the City to secure all construction materials present on-site during construction periods to ensure that such materials do not blow away, fall upon or litter adjacent properties in the area. The owner and/or contractor and builder shall be liable for any damages incurred by reason of unsecured construction materials.

Section 2. **Amendment.** Section 7-9-090 of the Farmington City Municipal Code is hereby amended and adopted to read in its entirety as follows:

**7-9-090 Misdemeanor.**

The failure to control weeds, refuse, junk vehicles or to secure construction materials in the manner provided in this Chapter and within the time set for compliance in the Notice of Violation shall be a Class B Misdemeanor, punishable by fine, imprisonment or both, as permitted by the applicable laws of the State of Utah. The failure to control or remove graffiti in the manner prescribed in this Chapter and within the time set forth for compliance in the Notice of Violation shall be an infraction punishable by fine as permitted by the applicable laws of the State of Utah.

Section 3. **Severability.** If any section, part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all sections, parts and provisions of this Ordinance shall be severable.



Section 4. Effective Date. This Ordinance shall become effective twenty (20) days after publication or posting, or thirty (30) days after passage, whichever occurs first.

PASSED AND ADOPTED BY THE CITY COUNCIL OF FARMINGTON CITY,  
STATE OF UTAH, THIS 5<sup>th</sup> DAY OF July 2000.

ATTEST:

FARMINGTON CITY

Margy Lynack  
Margy Lynack  
City Recorder

By: Gregory S Bell  
Gregory S Bell  
Mayor

